



# Board of Zoning Appeals

Regular Meeting  
<http://www.roswellgov.com/>  
~Agenda~

Chair Jahanzeb Jabbar  
Vice Chair Mark Schumacher  
Board Member John Hannah  
Board Member G. Wilson "Rocky" Horde  
Board Member Rob Huey  
Board Member Ian Kowalski  
Board Member Dan Seger

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Tuesday, September 9, 2025

7:00 PM

City Hall - Council Chambers

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**\*\* Possible Quorum of Mayor and City Council \*\***

## Welcome

### I. Call to Order

### II. Agenda Items

1. BZA20252054 – 12250 Brookfield Club Drive – variance to reduce the rear & side setbacks for a sport court (*previously deferred*)
2. BZA20252958 – 9410 Willeo Road – variance requests to parking regulations

### III. Minutes

3. August 12, 2025 BZA Minutes

### IV. Adjournment



**City of Roswell**  
**Board of Zoning Appeals**  
**AGENDA ITEM REPORT**

**ID # - 9984**

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**MEETING DATE:** September 9, 2025  
**DEPARTMENT:** Board of Zoning Appeals  
**ITEM TYPE:** Public Hearing

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**BZA20252054 - 12250 Brookfield Club Drive**

**Item Summary:**

Variance to reduce the side and rear setbacks for a Sport Court.

**Committee or Staff Recommendation:**

Staff recommends approval of both variance requests.

**Financial Impact:**

N/A

**Presented by:**

Richard Sykes





**Petition Number BZA20252054**

**Hearing & Meeting Date**

Board of Zoning Appeals - 08/12/2025; Deferred to 09/09/2025

**Applicant**

Josh Katterheinrich  
12250 Brookfield Club Drive,  
Roswell, Georgia 30075

**Property Information**

12250 Brookfield Club Drive  
Zoning – RS-18

**Proposed variance**

Variance to reduce the accessory structure side setback from 10 feet to 3.8 feet.  
Variance to reduce the accessory structure rear setback from 10 feet to 3.4 feet.

**Staff Recommendation:**

Staff recommends approval of both variance requests.

Item was presented to the BZA on 8/12/2025. Staff gave their presentation and recommended approval of both variance requests. The applicant then gave their presentation. Multiple members of the public, who all live in the same neighborhood of the applicant, spoke in favor and opposition of the variance requests. The BZA voted to defer the item to the 09/09/2025 meeting.

Per BZA deferral of this application on the 8/12/2025 meeting, staff is recommending **approval** of both variance requests with the following conditions:

1. *That the applicant plants three Chindo Viburnum and six Cleyera bushes between the Sport Court and rear property line as depicted on the landscape plan dated 8/23/2025.*
2. *That the applicant limits the use of the Sport Court between 7:00 a.m. to 10:00 p.m.*
3. *That the applicant ensures that any outside lighting used to illuminate the Sport Court shall be located, aimed or shielded so as to minimize glare and stray light trespassing across the adjacent property boundaries.*



### **Background**

This property is zoned RS-18 Single-Family Residential and is 40,114 square feet (0.92 acres) in size. It has one road frontage off Brookfield Club Drive and is part of the Brookfield West

subdivision. The lot is generally triangular shaped with a 40-foot front setback, 10-foot side setbacks and a 35-foot rear setback for the primary structure. The accessory structure setbacks for the lot are 40 feet for the front and ten feet for the side and rear. The primary structure is a 4,189 square foot single-family house that is located in a cul-de-sac. The front yard consists of a

lawn and small to medium sized vegetation with a driveway that abuts the western side property line and leads to a side-loaded garage. The neighbor to the rear of the property has a fence along a portion of the rear property line. The backyard contains a patio, retaining wall, sporadic trees and small vegetation.

The applicant has built a 1,350 square foot Sport Court 3.4 feet from the rear property line and 3.8 feet from the west side property line. The Sport Court is approximately 100 feet from the side neighboring house to the west of the property, approximately 70 feet from the rear neighboring house northeast of the property, and approximately 85 feet from the rear neighboring house northwest of the property. The applicant did not apply for a Variance nor a Land Disturbance Permit, prior to building the Sport Court and is now asking for two variances for the existing accessory structure.

The topography of the backyard severely limits the buildable area and thus the Sport Court was built on the flattest area on top of a small hill in the northwest corner of the property.

The applicant received a tree permit to clear the area for the Sport Court and received a building permit for a retaining wall that supports the Sport Court. It was the retaining wall building permit that brought the Sport Court to the attention of city staff. The applicant applied for an administrative variance originally, but after receiving two opposition letters from the adjacent neighbors, the applicant was then required to apply for a major.



### **Request**

1. **The applicant is seeking relief from the UDC 3.2.3.1.J to reduce the accessory structure side setback from 10 feet to 3.8 feet. This is an encroachment of 6.2 feet.**
2. **The applicant is seeking relief from the UDC 3.2.3.1.K to reduce the accessory structure rear setback from ten 10 to 3.4 feet. This is an encroachment of 6.6 feet.**

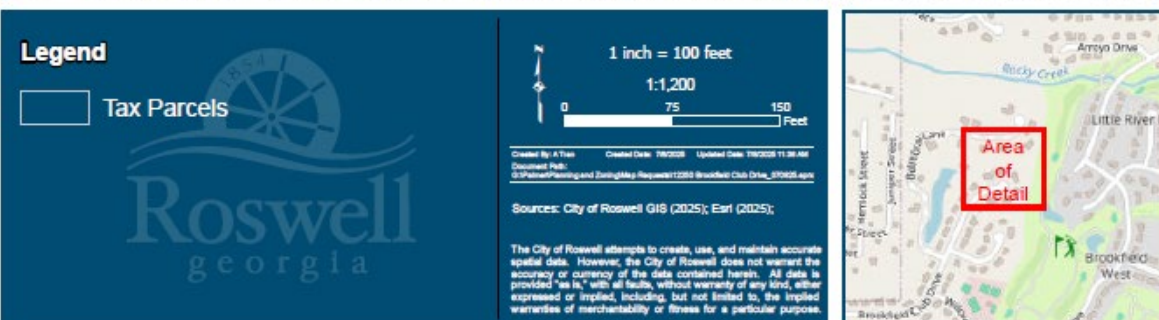
### **References**

1. **UDC 3.2.3; Detached House, Number 1, Letter J**: Side interior (min): 10'
2. **UDC 3.2.3; Detached House, Number 1, Letter K**: Rear (min): 10'



### Aerial Image:

## 12250 Brookfield Club Drive Aerial

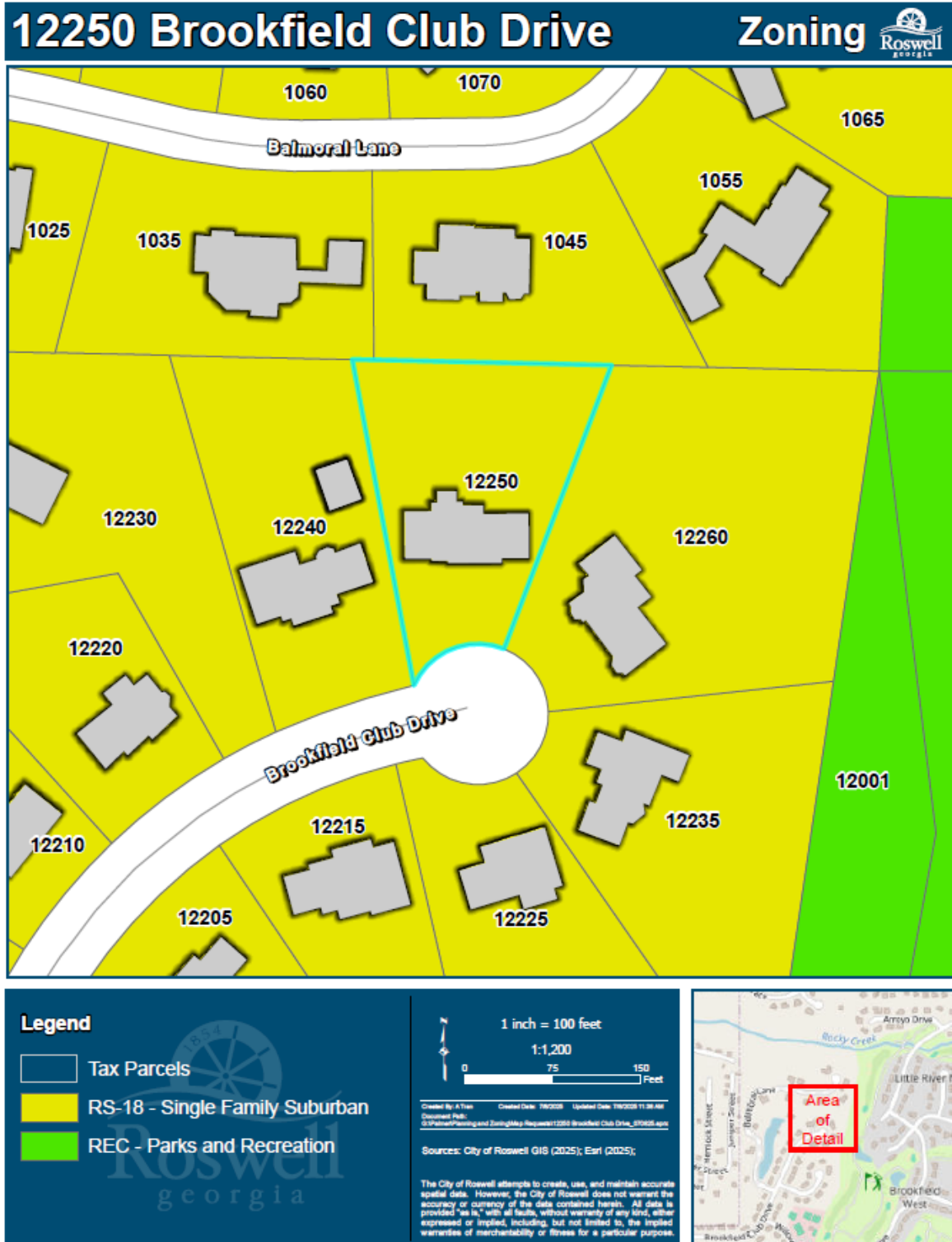


Attachment: Updated Staff Report 12250 Brookfield Club Dr (BZA20252054 - 12250 Brookfield Club Drive)





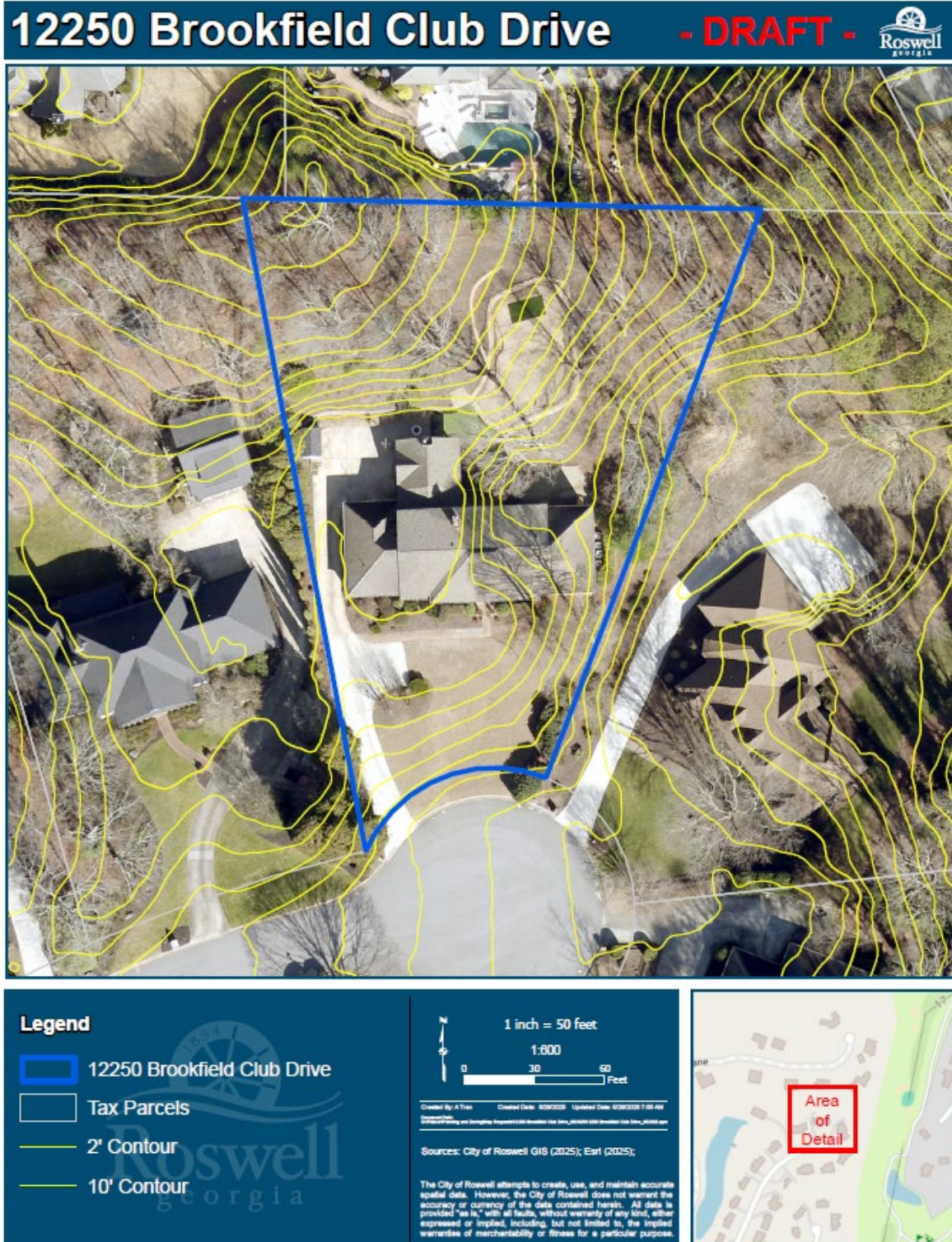
### Zoning Map:



Attachment: Updated Staff Report 12250 Brookfield Club Dr (BZA20252054 - 12250 Brookfield Club Drive)



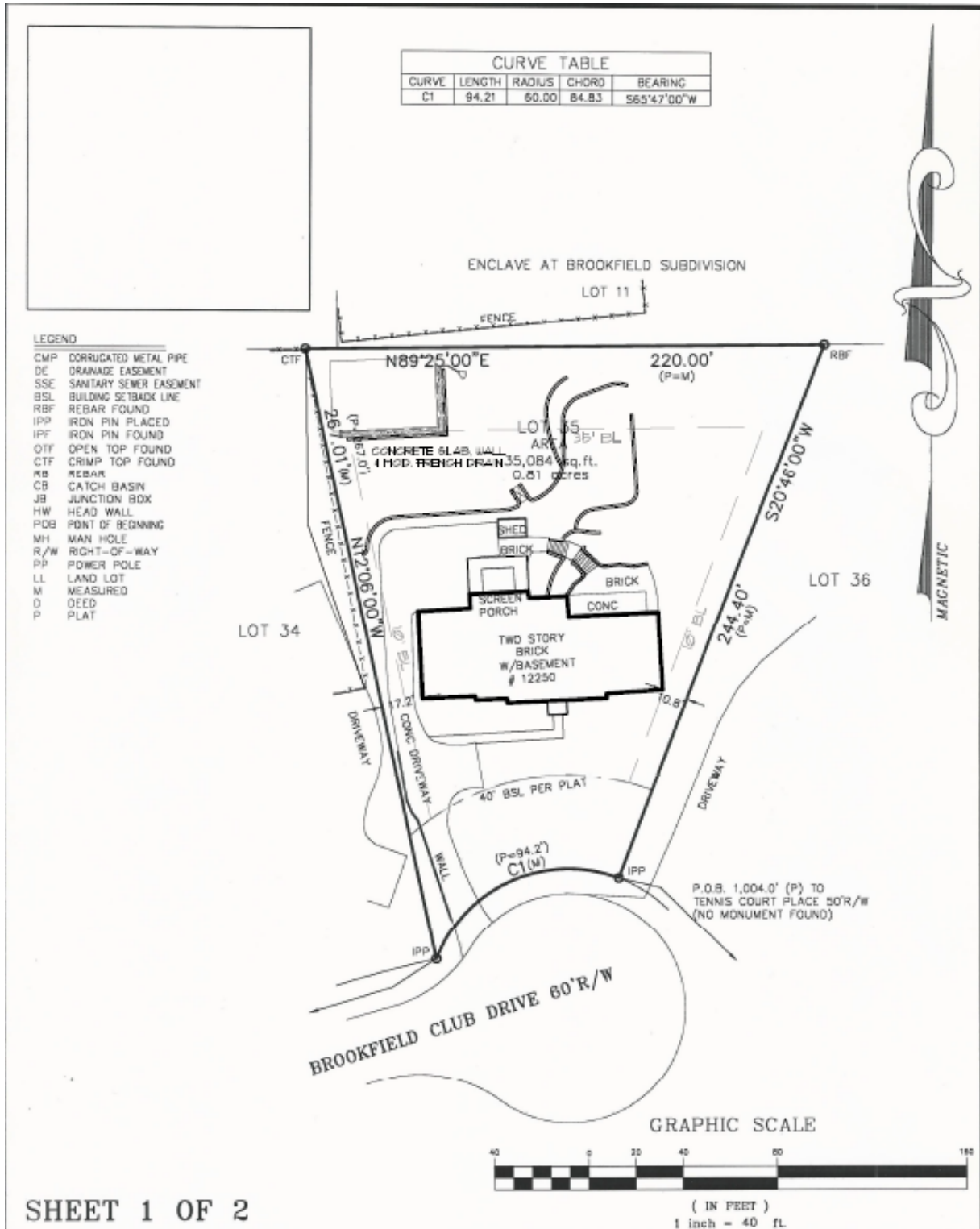
### Topography Map







## Proposed Site Plan



EXISTING FENCE

PROPERTY LINE

5.1'

8.7'

3.4'

10.3'

4" SOLID PIPE  
-daylights into large river  
rock outlet protection

EXISTING  
CONCRETE SLAB  
-45'x30'  
-1,350 sq ft  
-see note

ALL DISTURBED AREAS TO BE  
MULCHED PER DS-1 SPECIFICATIONS  
(2-4" settled pine straw)

NOTE: EXISTING  
CONCRETE SLAB WAS BUILT  
WITHOUT A PERMIT.  
AN ADMINISTRATIVE VARIANCE IS  
REQUESTED FOR SETBACK  
ENCROACHMENT.

LIMIT OF DISTURBANCE

NO TREES TO  
BE REMOVED

35' BL

3.8'

SF

SF

SF

NEW RETAINING WALL  
-modular block  
-30" max exposed height  
-47" max wall height (measured from  
bottom of footing)  
-66 sq ft

NEW MODIFIED FRENCH DRAIN  
-71' lin ft, 24x24" trench  
-see calculation & detail on this sheet

EXISTING FENCE  
-location field  
verified

PROPERTY LINE

10' BL

EXISTING WALL & STEPS  
(approximate)

SHED

BRICK WALK

DRIVEWAY



3 - Chindo Viburnum  
1 gal 8' o.c.  
mature size: 18' height x 12' width

6 - Cleyera  
3 gal 6' o.c.  
mature size: 15' height x 10' width

EXISTING FENCE

4" SOLID PIPE  
-daylights into large river  
rock outlet protection

PROPERTY LINE

2:1 SLOPE PREVENTS  
PLANTING OF 1 GAL  
PLANT MATERIAL

EXISTING CONCRETE SLAB  
-45'x30'  
-1350 sq ft  
-see note

NOTE: EXISTING  
CONCRETE SLAB WAS BUILT  
WITHOUT A PERMIT.  
AN ADMINISTRATIVE VARIANCE IS  
REQUESTED FOR SETBACK  
ENCROACHMENT.

LIMIT OF DISTURBANCE

NO TREES TO  
BE REMOVED

35' BL

NEW RETAINING WALL  
-modular block  
-30" max exposed height  
-47" max wall height (measured from  
bottom of footing)  
-66 sq ft

NEW MODIFIED FRENCH DRAIN  
-11" lin ft, 24x24" trench  
-see calculation 4 detail on this sheet

EXISTING FENCE  
-location field  
verified

EXISTING WALL 4 STEPS  
(approximate)



Sign Photo:



Attachment: Updated Staff Report 12250 Brookfield Club Dr (BZA20252054 - 12250 Brookfield Club Drive)





**View from Brookfield Club Drive:**



**View of Sport Court from Applicant's Driveway**



Attachment: Updated Staff Report 12250 Brookfield Club Dr (BZA20252054 - 12250 Brookfield Club Drive)



**13.11.7 BZA Hardship Criteria:** Variance to reduce the side and rear setbacks.

- A. A literal interpretation of the provisions of this UDC would effectively deprive the applicant of rights commonly enjoyed by other properties of the zoning district in which the property is located.**

A literal interpretation of the provisions of this UDC would effectively deprive the applicant of rights commonly enjoyed by other properties of the RS-18 zoning district. The topography of the lot limits the buildable area in the backyard. Whereas other properties with a flatter topography can build in their backyard without seeking a variance, the varied topography on this lot limits the buildable area to where the Sport Court currently resides.

- B. Granting the requested variance will not confer upon the property of the applicant any special privileges that are denied to other properties of the zoning district in which the property is located.**

Granting the requested variance will not give the applicant any special privileges, as the property is a lot of record, and the applicant has the right to maximize the use and enjoyment of the property.

- C. The requested variance will be in harmony with the purpose and intent of this UDC and will not be injurious to the neighborhood or to the general welfare.**

The requested variance will be in harmony with the purpose and intent of the UDC and Comprehensive Plan and will not be injurious to the neighborhood or to the general welfare. Many other lots in the Brookfield West subdivision have, including the adjacent property to the rear of the lot, swimming pools installed in their backyards. Like a Sport Court, swimming pools are used as recreation. Therefore, the requested variance will match the existing character and development patterns of the neighborhood as mandated in Neighborhood Residential Character Area of the Comprehensive Plan.

- D. The special circumstances are not the result of the actions of the applicant.**

The special circumstances are not the result of the actions of the applicant as the varied topography of the lot is existing. However, this case has been complicated by the applicant as the Sport Court was built without making an application for and receiving a variance and Land Disturbance Permit.



- E. The variance requested is the minimum variance that will make possible the proposed use of the land, building or structure.**

The requested variance is the minimum variance possible that allows the Sport Court to be built on the most level area of the backyard.

- F. The variance does not permit a use of land, buildings or structures, which is not permitted by right in the zoning district.**

Per the Brookfield West plat, this is a lot of record and an accessory structure is allowed.

- G. The variance does not reduce the lot size below the minimum lot size allowed in the zoning district.**

The variance does not reduce the lot size below the minimum lot size allowed in the zoning district.

- H. The variance does not increase the maximum allocation of sign area or the maximum area of an allowed sign type.**

The variance does not pertain to signs.



12250 Brookfield Club Drive

Letter of Intent:

I would like a variance for a concrete slab that goes into the rear and side set back of my property. The topography of the property is extremely steep, and this is the only area that this slab is able to be. The slab has already been poured based on information first obtained during due diligence. A tree permit was granted and retaining wall permit was approved. No buildings or structure will be built within the set back or on the concrete pad.



**FOR SINGLE-FAMILY RESIDENTIAL USE ONLY WITH LESS THAN 5,000 SQUARE FEET OF NEW OR REPLACED IMPERVIOUS AREA**

## French Drain

A French drain consists of a shallow trench filled with stone and fitted with a perforated pipe. Stormwater from impervious areas including roofs, drive-ways, and pool decks is piped to the French drain and infiltrates into the surrounding soil. French drains must exit at a point that is lower than the inflow point and flow away from structures. French drains are usually covered with topsoil and sod so they blend in with landscaping while providing stormwater benefits.



### Locate

- Install the French drain at least 10 feet away from building foundations.
- Avoid septic fields, utility easements, and public right-of-way
- Install in a landscaped area.
- Use a perforated pipe to receive roof drains pipes.
- The perforated pipe must have a positive slope away from the structure and must exit at a point that is lower than the inflow point. The exit location must be at least 10 feet from the property line and cannot channel flow onto a neighboring property.

### Design

- Two options are available for this design; Option 1 and Option 2. Option 1 does not receive surface flow. Option 2 can receive surface flow.
- The minimum depth of a French drain is 18 inches. The maximum depth is 30 inches.
- To calculate the width and length, see the table below.
- See the next page for details.

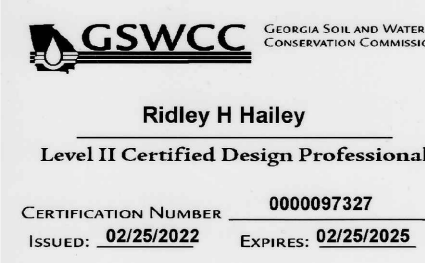
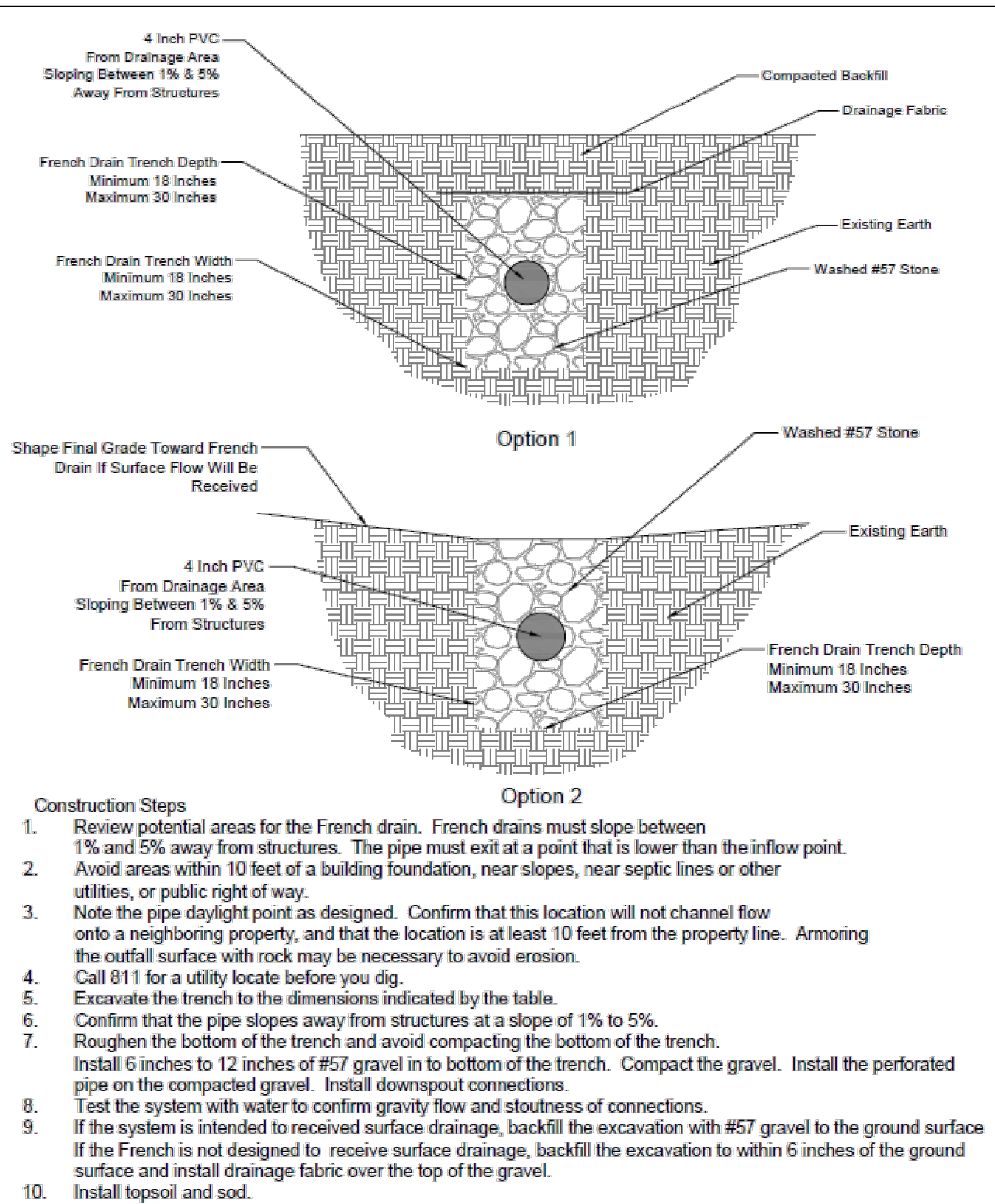
Area of Impervious Surface in Square Feet Which Can be Treated Per 10 Linear Feet of French Drain			
Trench Depth (inches)	Trench Width (inches)		
	18	24	30
18	100	150	250
24	150	200	300
30	250	300	350

### Maintain

10 lin ft of MFD treats 200 sq ft of impervious  
71 lin ft treats 1,420 sq ft of impervious

- Inspect gutters and downspouts for accumulated leaves.
- Inspect the trench following rain events. Removed accumulated leaves and debris.
- Monitor for and repair areas of erosion.

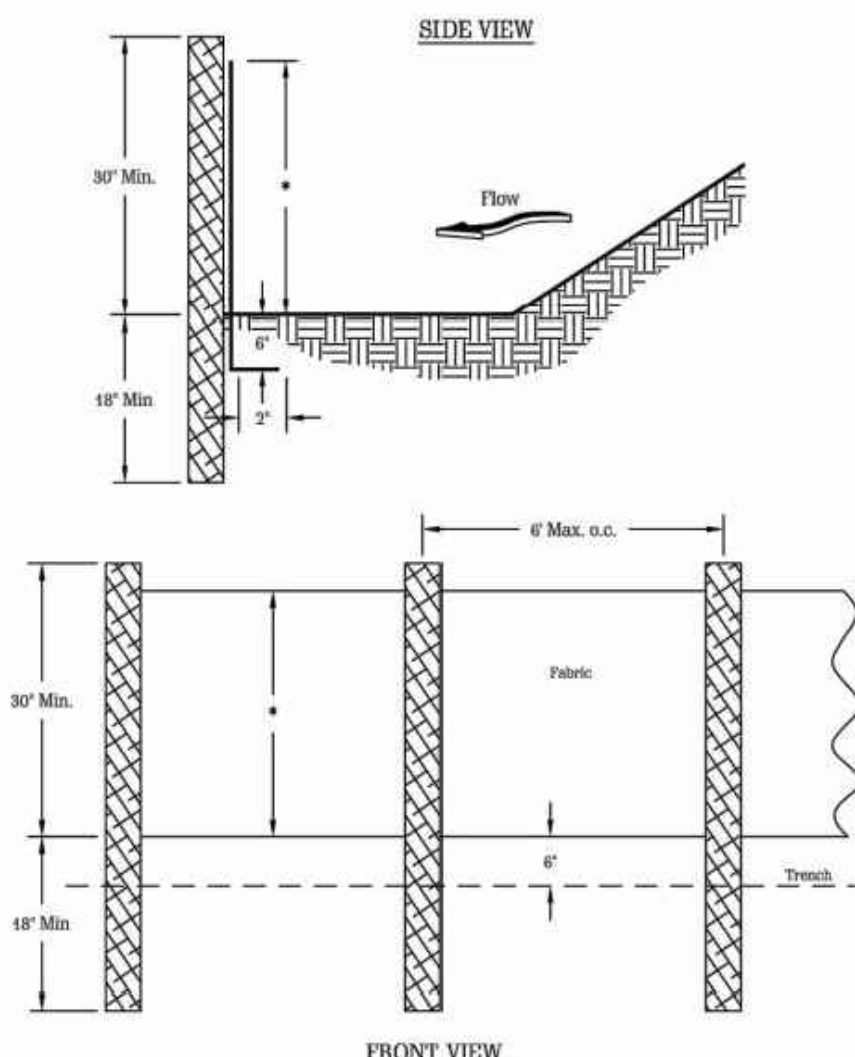
**FOR SINGLE-FAMILY RESIDENTIAL USE ONLY WITH LESS THAN 5,000 SQUARE FEET OF NEW OR REPLACED IMPERVIOUS AREA**



**SCOPE OF WORK**  
-this project involves construction of a retaining wall and modified french drain. The modified french drain will receive run-off from the proposed wall and existing concrete slab.

#### WATER AND FLOOD NOTE

The subject property does not fall within a 100 year federally designated flood hazard area. The subject property is located on map No. 13121C0034F, effective on 9/18/2013. Zone 'X' as described by said map being "Area of minimal flood hazard."



**NOTES:**  
1. Use steel or wood posts or as specified by the EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.  
2. Height (") is to be shown on the EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

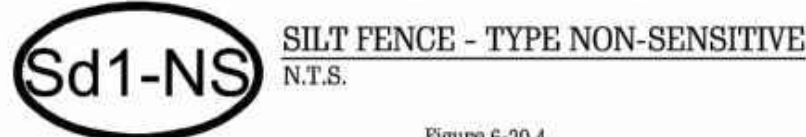
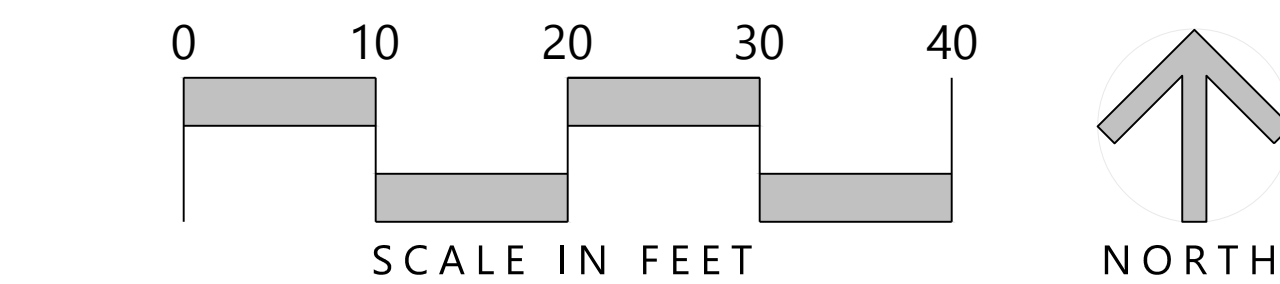
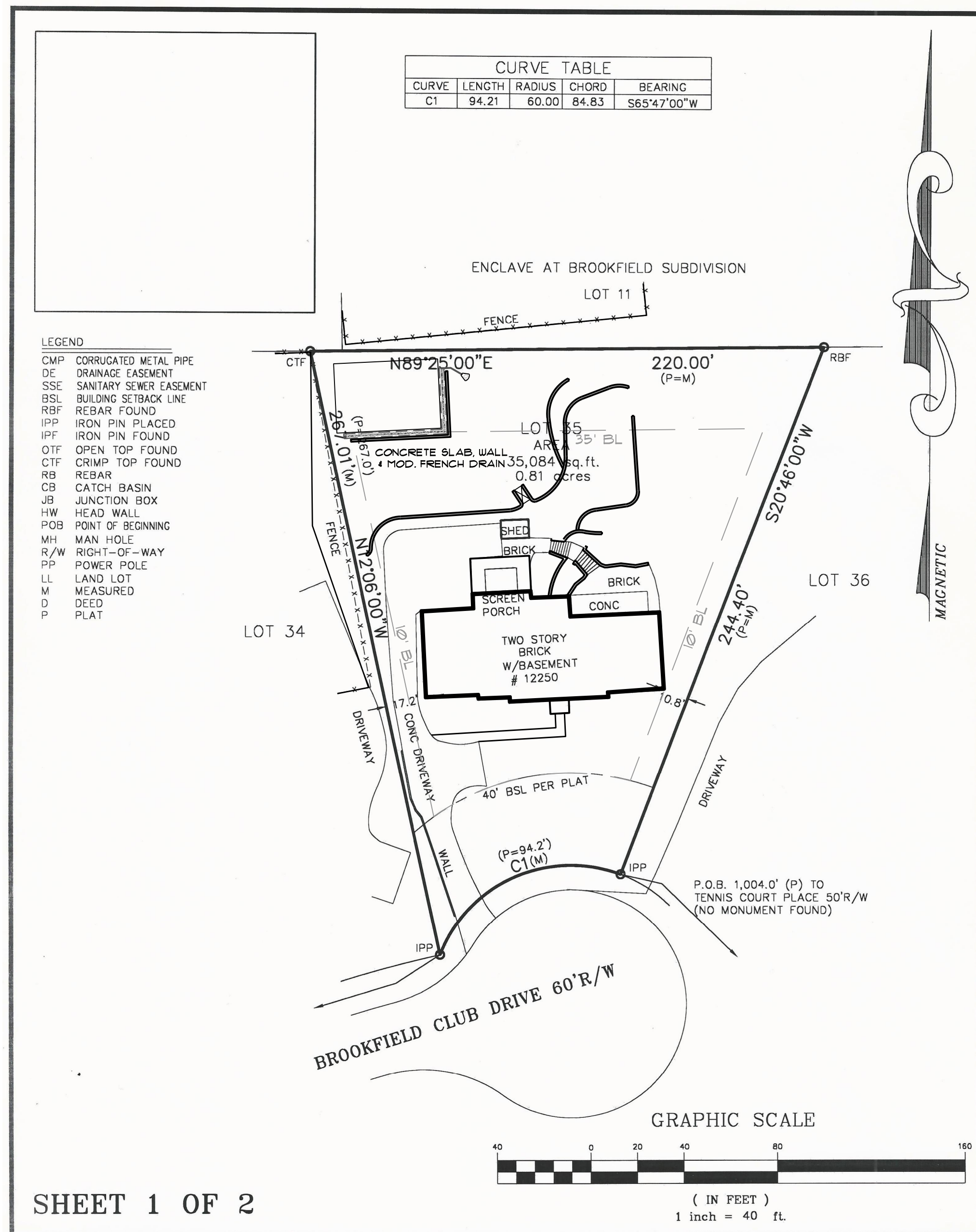


Figure 6-20.4



#### LOT COVERAGE CALCULATIONS

EXISTING LOT COVERAGE			
house / front stoop	4,189	sf	
driveway	3,504	sf	
rear concrete, brick & steps	979	sf	
rear porch	378	sf	
retaining walls (driveway)	57	sf	
retaining walls / steps (backyard)	400	sf	
front walk	250	sf	
shed	90	sf	
	9,847	sf	TOTAL EXISTING LOT COVERAGE
NEW IMPERVIOUS			
concrete slab	1350	sf	
retaining wall	70	sf	
	1,420	sf	TOTAL PROPOSED LOT COVERAGE
TOTAL IMPERVIOUS AREA AFTER DEVELOPMENT	11,267	sf	.21 acres
LOT AREA	35,084	sf	0.81 acres
LOT COVERAGE AFTER DEVELOPMENT	32%		
TOTAL LIMIT OF DISTURBANCE	793	sf	
NOTE : NO TREES TO BE REMOVED			



SHEET 1 OF 2

ABOVE THE GROUND AS BUILT SURVEY PREPARED FOR:

OWNER / PURCHASER **BOBBIE MASON** DATE **02/03/21**

**LAUREN KETTERHEINRICH** SCALE **1" = 40'**

LAND LOT 1228 2nd DISTRICT 2nd SECTION FULTON COUNTY, GEORGIA

LOT 35 BLOCK R UNIT 14 AREA OF LOT: 35,084 S.F.

SUBDIVISION BROOKFIELD WEST

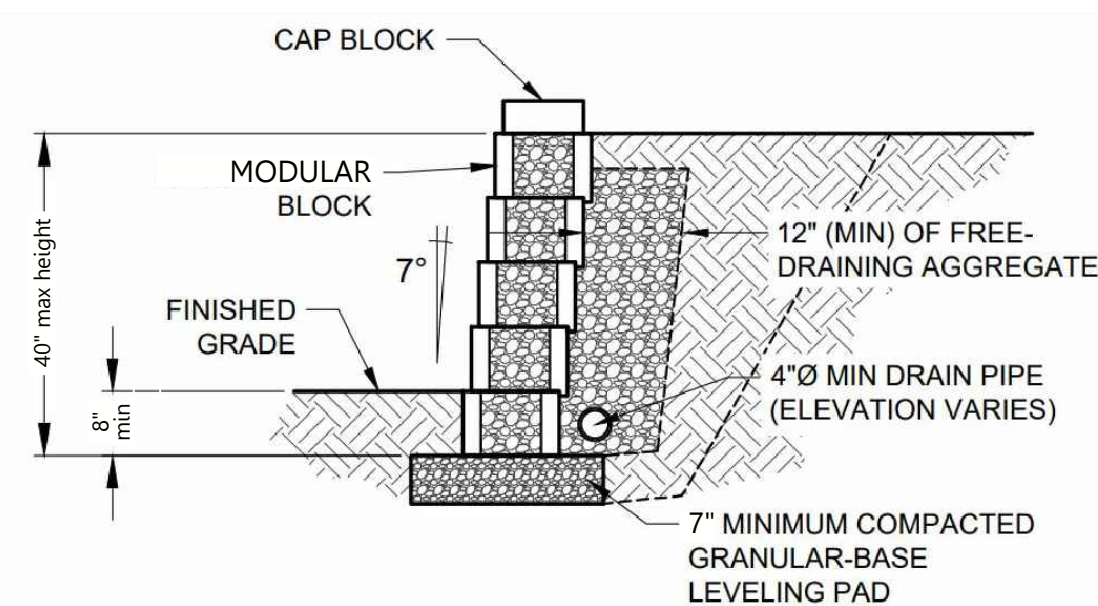
**SOLAR LAND SURVEYING COMPANY**

P.O. BOX 723993 ATLANTA, GEORGIA 31139-0993  
TELEPHONE (770) 794-9055 FAX (770) 794-9052

ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED

PLAT BOOK 124, PAGE 120  
DEED BOOK, PAGE

**NOTES:**  
-Grading is to be completed in a manner to ensure that stormwater runoff under post-developed conditions does not adversely impact the adjacent parcels or lots as a result of concentrated flow, flooding, impediment to flows, erosion, or deposits of silt or sediment  
-No person shall erect, construct, or otherwise permit any obstruction (i.e. building, fences, retaining walls, patios, etc) that prevents the natural or contained flow of water to any component of the stormwater system of the City of Roswell, unless such obstruction is allowed as part of a permit.



## SITE PLAN

**Ketterheinrich Residence**  
**12250 Brookfield Club Drive**  
**Roswell, GA 30075**

**LIVING ENVIRONMENTS**  
mylivingenvironment.com  
Ridley Hailey PLA  
404-749-0610

January 15, 2024

SHEET

L-01



**APPLICATION INTAKE**

In Person: 8:00 am – 4:00 pm

By Email: [planningandzoning@roswellgov.com](mailto:planningandzoning@roswellgov.com)**RECEIVED**

2.1.d

By Planning and Zoning at 1:25 pm, May 12, 2025

**Variance Application****Request to Board of Zoning Appeals or Administrative**

<b>Application Number:</b> 20252054	
<b>* Before submitting an application, you must contact Planning and Zoning to determine if a pre-application meeting is required.</b>	
<b>Pre-Application Meeting Date:</b> _____	
Type of Request: <input type="checkbox"/> Administrative <input checked="" type="checkbox"/> Major	
Number of Variances Requested: _____	
<b>PROJECT DESCRIPTION</b>	
Name of Project: <u>Sports Court</u>	Current Zoning: _____
Project Address: <u>12250 Brookfield Club Dr.</u>	
Subdivision: <u>Brookfield</u>	Is there an HOA? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N
List requested variances: <u>Voluntary</u>	
1. <u>setback - Rear</u>	
2. <u>setback - side</u>	
3. _____	
Explain your hardship (See Page 3 of application for hardship criteria): <u>The topography of the lot doesn't allow the court to be any other place</u>	
<b>CONTACTS</b>	
<b>Applicant/Representative</b>	Name/Company Name: <u>Josh Katterheirich</u>
	Address: <u>12250 Brookfield Club Dr.</u>
	City: <u>Roswell</u> State: <u>GA</u> Zip: <u>30075</u>
	Email: <u>joshkatt@hotmail.com</u> Phone: <u>770-366-1069</u>
<b>Property Owner</b>	Name/Company Name: <u>Same as above</u>
	Address: _____
	City: _____ State: _____ Zip: _____
	Email: _____ Phone: _____
I hereby certify that all information provided herein is true and correct.	
<u>[Signature]</u> <u>5/8/25</u>	
Applicant Signature: Property Owner or Owner's Representative Date	

\*Refer to Section 13.9 and 13.11 of the Unified Development Code to determine if your project is categorized as an Administrative or Major Review

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Planning and Zoning Division Application • Rev 12/27/2024



### HOW TO REQUEST A VARIANCE BEFORE THE BOARD OF ZONING APPEALS

If you cannot meet all the standards and regulations of the *Roswell Unified Development Code*, you may present your request for a Variance before the Board of Zoning Appeals. A Variance is a relaxation of the strict terms of the Unified Development Code (such as height, setbacks, parking or other regulations) for a specific property, to permit construction that would otherwise be prohibited because of the particular physical surroundings, shape or topographical conditions. Variances are covered in the Section 13.11, "Variance," of the *Roswell Unified Development Code*.

You must present your request to the Board in the form of a hardship that you will experience if the strict application of the zoning regulation is enforced. In granting a Variance, the Board of Zoning Appeals may impose requirements and conditions to protect adjacent properties and the public interest. Any application for a Variance must be supported by written verification of that:

- There are extraordinary and exceptional conditions or practical difficulties pertaining to the particular piece of property in question because of its size, shape or topography that are not applicable to other lands or structures in the same district. *Yes*

In making this determination, the Board of Zoning Appeals considers the following criteria:

- A literal interpretation of the provisions of this UDC would effectively deprive the applicant of rights commonly enjoyed by other properties of the district in which the property is located. *Yes*
- Granting the Variance requested will not confer upon the property of the applicant any special privileges that are denied to other properties of the zoning district in which the property is located. *No*
- The requested Variance will be in harmony with the purpose and intent of this UDC and will not be injurious to the neighborhood or to the general welfare. *No*
- The special circumstances are not the result of the actions of the applicant. *No*
- The Variance requested is the minimum variance that will make possible the proposed use of the land, building, or structure. *Yes*
- The Variance does not permit a use of land, buildings or structures, which are not permitted by right in the zoning district. *No*
- The Variance does not reduce the lot size below the minimum lot size allowed in the zoning district. *No*
- The variance does not increase the maximum allocation of sign area or the maximum area of an allowed sign type. *No*

### REQUESTING AN ADMINISTRATIVE VARIANCE

An **Administrative Variance** is similar to a Variance in that it also grants relief from the strict requirements of the *Unified Development Code*. An Administrative Variance does not require a public hearing. The Zoning Director may "administratively" vary or waive any of the certain requirements as outlined in Section 13.9 of the *Unified Development Code*.

Details are covered on the Variance Checklist.

\*Refer to Section 13.9 and 13.11 of the Unified Development Code to determine if your project is categorized as an Administrative or Major Review



## SIGNATURE PAGE

**READ CAREFULLY BEFORE SIGNING**

- I understand that failure to supply all required information (per the relevant Applicant Checklist and requirements of the *Unified Development Code*) will result in **REJECTION OF THE APPLICATION**.
- I understand that the application may not be approved if applicant plans to attend the Design Review Board meeting without required items or if the applicant presents plans that differ from submittal materials.
- I understand that I will become familiar with applicable zoning code and Design Guidelines.

I understand that failure to respond OR to submit deficient items within six months of receiving comments will result in **THE APPLICATION BEING DEEMED AS WITHDRAWN BY THE CITY**

Applicant or Representative Signature

Date

5/9/25

*I respectfully petition that this property be considered as described in this application. Wherefore, applicant prays that the procedures incident to the presentation of this petition be taken, and the property be considered accordingly. Additionally, applicant further acknowledges and fully understand all above statement made by the City of Roswell.*

*I hereby certify that all information provided herein is true and correct*

Property Owner Signature

Date

5/9/25

Address:

12250 Brookfield Club Drive

City:

Roswell

State:

GA

Zip:

30075

NOTARY: Personally appeared before me the above applicant or representative named

who on oath says that he/she is the applicant or representative for the foregoing, and that all the above statements are true to the best of his/her knowledge

**JORGE PERALTA**

NOTARY PUBLIC

Gwinnett County

State of Georgia

My Comm. Expires Feb. 13, 2028

Notary Signature

Date

05/09/25

Date commission expires:

02/13/2028

\*Refer to Section 13.9 and 13.11 of the Unified Development Code to determine if your project is categorized as an Administrative or Major Review

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Planning and Zoning Division Application • Rev 12/27/2024

### VARIANCE CHECKLIST

1. Completed and signed application form.
2. Payment of applicable fee.
3. Letter of Intent:
  - Describing the requested variance(s); and
  - Describing how the proposed action meets the criteria for granting of a variance as established in Article 13.11.17 of the Roswell Unified Development Code.
4. One to-scale copy of a survey sealed by a surveyor or a site plan, which must contain the required items related to the variance request.
  - Metes, bounds, and dimensions;
  - Bearings and distances;
  - Current zoning of subject property;
  - Property lines;
  - Existing buildings and structures including retaining walls;
  - Existing parking; and
  - Topographical information (significant man-made and natural features, streams, stream buffers, historic and archaeological sites)
  - Total site area [SqFt and acreage];
  - Existing building footprint and proposed building footprint;
  - Proposed building and structures, including retaining walls;
  - Proposed setbacks;
  - Proposed parking; and
  - Other information required by the Planning and Zoning Director
5. If a sign variance is requested, please provide the following:
  - Color rendering of the proposed sign, drawing to scale (architect, sign contractor, or engineer) with sign dimensions (height and width)
6. **Digital copy of all required documentation.**

### ADMINISTRATIVE VARIANCE CHECKLIST

1. Provide the proposed site plan with proposed request containing:
  - Printed name(s) of abutting property owner(s);
  - Address of the abutting property owner(s)
2. **Digital copy of all required documentation.**

Once the application is submitted, per Unified Development Code Section 13.9.6, a letter will be sent to each abutting property owner regarding the requested variance. Each owner will have ten (10) calendar days from the date the notice is received to object to the request by sending the objection in writing to the Planning and Zoning Director.

\*Refer to Section 13.9 and 13.11 of the Unified Development Code to determine if your project is categorized as an Administrative or Major Review



Fee Schedule – Board of Zoning Appeals		
	Variance Commercial/Sign * + starred items below	\$350
	Variance Residential * + starred items below	\$250
	Administrative	\$100
	*Advertising	\$300
	*Public notice signs	\$120/sign

**ALL APPLICATIONS MUST BE REVIEWED AND APPROVED BY ALL CITY DEPARTMENTS BEFORE BEING ADVERTISED AND PLACED ON AN AGENDA**

**Per Section 13.3.4 of the Unified Development Code, signs must be posted, and advertisements must be published a minimum of thirty (30) days prior to the variance hearing.**

**The Board of Zoning Appeals (BZA) meetings are held in City Hall Council Chambers at 7:00 PM on the 2<sup>nd</sup> Tuesday of each month. Council Chambers are located on the second floor of City Hall located at 38 Hill Street.**

2025 BOARD OF ZONING APPEALS MEETING DATES
Tuesday, January 14, 2025
Tuesday, February 11, 2025
Tuesday, March 11, 2025
Wednesday, April 16, 2025 **Moved due to Spring Break**
Tuesday, May 13, 2025
Tuesday, June 10, 2025
Tuesday July 8, 2025
Tuesday, August 12, 2025
Tuesday, September 9, 2025
Thursday, October 16, 2025 **Rescheduled due to Columbus Day**
Thursday, November 13, 2025 **Rescheduled due to Veteran's Day**
**No December 2025 Meeting**

**\*Refer to Section 13.9 and 13.11 of the Unified Development Code to determine if your project is categorized as an Administrative or Major Review**

City of Roswell • 38 Hill Street • Suite G-30 • Roswell, Georgia 30075 • 770-817-6720 • [www.roswellgov.com](http://www.roswellgov.com)  
Planning and Zoning Division Application • Rev 12/27/2024

12250 Brookfield Club Drive

Letter of Intent:

I would like a variance for a concrete slab that goes into the rear and side set back of my property. The topography of the property is extremely steep, and this is the only area that this slab is able to be. The slab has already been poured based on information first obtained during due diligence. A tree permit was granted and retaining wall permit was approved. No buildings or structure will be built within the set back or on the concrete pad.



**City of Roswell**  
**Board of Zoning Appeals**  
**AGENDA ITEM REPORT**

**ID # - 10054**

---

**MEETING DATE:** September 9, 2025  
**DEPARTMENT:** Board of Zoning Appeals  
**ITEM TYPE:** Public Hearing

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**BZA20252958 - 9410 Willeo Road**

**Item Summary:**

1. Variance to allow parking between the building and the street
2. Variance to increase the maximum parking requirement.

**Committee or Staff Recommendation:**

Planning and Zoning recommends approval of both variance requests.

**Financial Impact:**

N/A

**Presented by:**

Richard Sykes



**Petition Number BZA20252958**  
**Hearing & Meeting Date**  
 Board of Zoning Appeals - 09/09/2025

**Applicant**

Marilyn Moore  
 Moore Engineering, Inc.  
 2919 Cravey Trail NE  
 Atlanta, Georgia 30345

**Property Information**

9408/9410 Willeo Road  
 Zoning – Office Park (OP)

**Proposed variance**

Variance to allow on-site parking between the building and the street.  
 Variance to increase the maximum parking requirement.

**Staff Recommendation:**

Staff recommends approval of both variance requests.

**Background**

This property is zoned Office Park (OP) and is about 39,600 square feet (.91 Acres). It has a frontage off Willeo Road and a frontage off Willeo Exchange which is a private street. The property has an existing 3,400 square foot commercial building and an approximate 6,751.4 square foot existing parking lot located in the northeastern half of the property. The southwestern half of the property consists of a grass lawn near Willeo Road and dense trees and smaller vegetation towards the rear of the property. The single entrance/exit to the property is off Willeo Exchange close to the intersection of Willeo Exchange and Willeo Road. The existing building faces Willeo Road and the existing parking lot has 20 spaces with two handicapped dedicated spaces. The area behind the existing building has a line of tall pine trees which act as a vegetative buffer.

Before March 2025, the existing building had two suites, a dentist office and a chiropractor. In 2019, the property was divided into two lots, 9410 and 9408 Willeo Road. In 2024, the two lots were combined back into a single lot with the intention of expanding the parking lot. The two street addresses 9410 and 9408 remain tied to the combined lot. The property owner has a dental





office in the existing building which has recently expanded from one suite to both suites, combining the two in March 2025.

The applicant intends to build a 4,838.9 square foot parking lot extension which includes a new entrance and driveway off Willeo Road and 12 parking spaces. This would bring the total number of parking spaces on the property to 32. The proposed parking lot extension will include two landscape islands and a landscape strip with 20 shrubs located between the parking lot and Willeo Road. The proposed parking lot extension will be physically connected with the existing parking lot by a paved walkway and will be 96 feet from the front door of the existing building. An additional driveway will be included with the proposed parking lot off Willeo Road.

Per the UDC, a dental office is considered a medical use. The minimum parking requirement calculation for a medical use is one parking space per 300 square feet of the occupied building. Given this, the minimum number of parking spaces for the dental office is 12 spaces. The maximum required parking calculation is 133% of the minimum required parking. The maximum parking required for the dental office is 16 spaces. The existing parking lot has 20 parking spaces, four more than the maximum allowed or 167% of the minimum required parking. This is a 25.6% increase from the UDC's 133% maximum parking requirement. This makes the lot nonconforming.

### Requests

1. **The applicant is seeking relief from the UDC 6.3.8.4.G to allow parking between the building and the street.** This section of the UDC does not allow parking between the building and street for General Buildings in the OP zoning district. This request would allow parking between the building and the street.
2. **The applicant is seeking relief from the UDC 10.1.5. to increase the required maximum parking of 133% of the required minimum parking (12 parking spaces) from the existing 167% (20 parking spaces) to 267% (32 parking spaces).** The existing parking lot has 167% of the minimum required parking, a 25.6% increase from the UDC's maximum parking requirement. This makes this property an existing nonconforming lot. This request would increase the existing 20 parking spaces to 32 spaces, an increase of about 60% from the existing conditions.






### **References**

1. **UDC 6.3.8 General Building, Number 4 Activation, Letter G On-Site Parking:**  
OP-: No parking between the building and the street.
2. **UDC 10.1.5 Vehicle Parking Maximums:** All medical uses: Surface parking spaces cannot exceed 133% of the required minimum vehicle parking.

For this property, the maximum allowed parking is 16 parking spaces for the 3,400 square foot building.

## 9410 and 9408 Willeo Road

**Aerial**  Roswell  
georgia



**Legend**

- Tax Parcels

**Roswell georgia**

1854

North Arrow

1 inch = 100 feet

Scale: 0, 75, 150 Feet

1:1,200

Sources: City of Roswell GIS (2025), Esri (2025).

The City of Roswell attempts to create, use, and maintain accurate spatial data. However, the City of Roswell does not warrant the accuracy or currency of the data contained herein. All data is provided "as is" with all faults, without warranty of any kind, either expressed or implied, including, but not limited to, the implied warranties of merchantability or fitness for a particular purpose.

Area of Detail

Francis Elementary and Middle Schools

Hurtville Pkwy

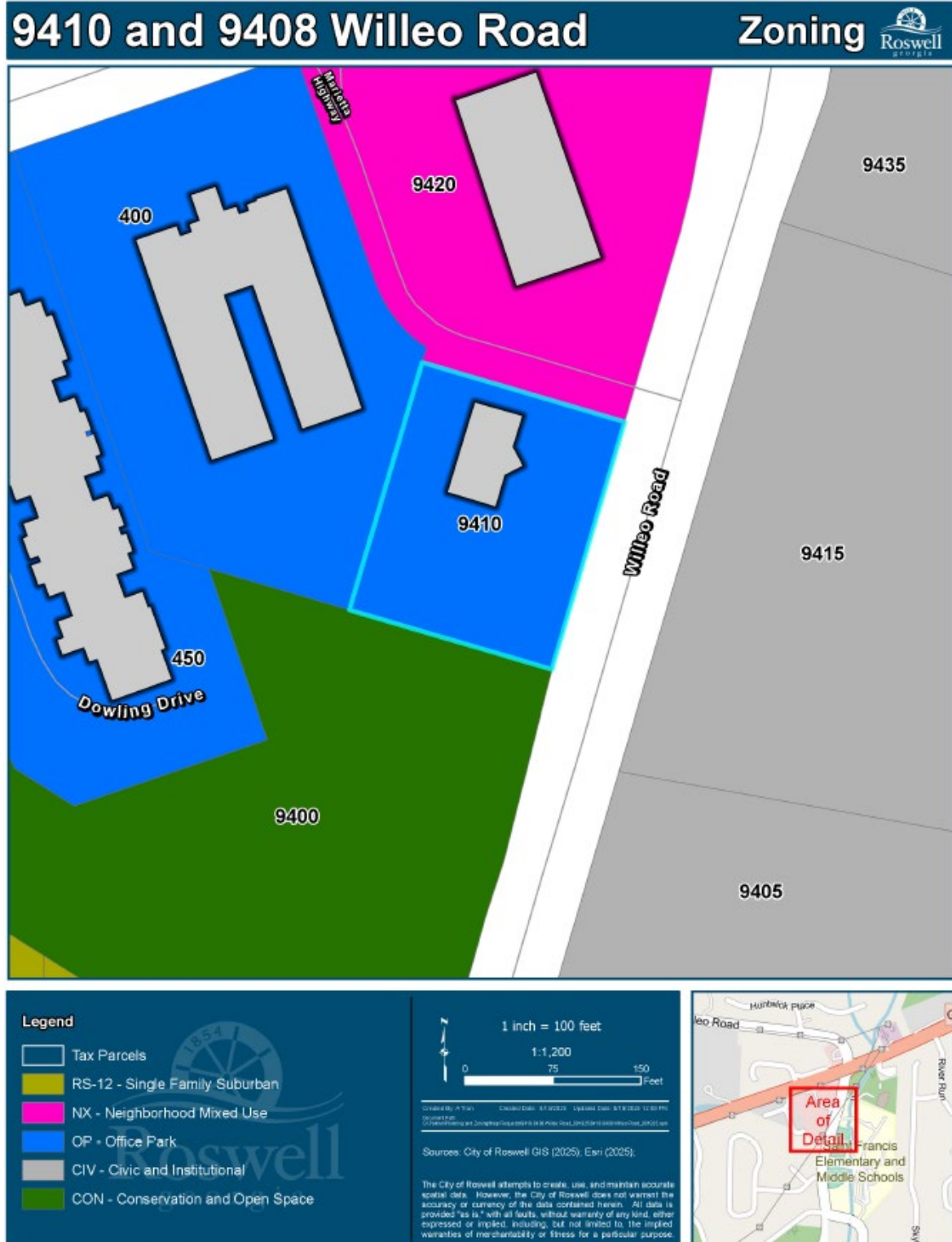
Leo Road

River Run

SNY



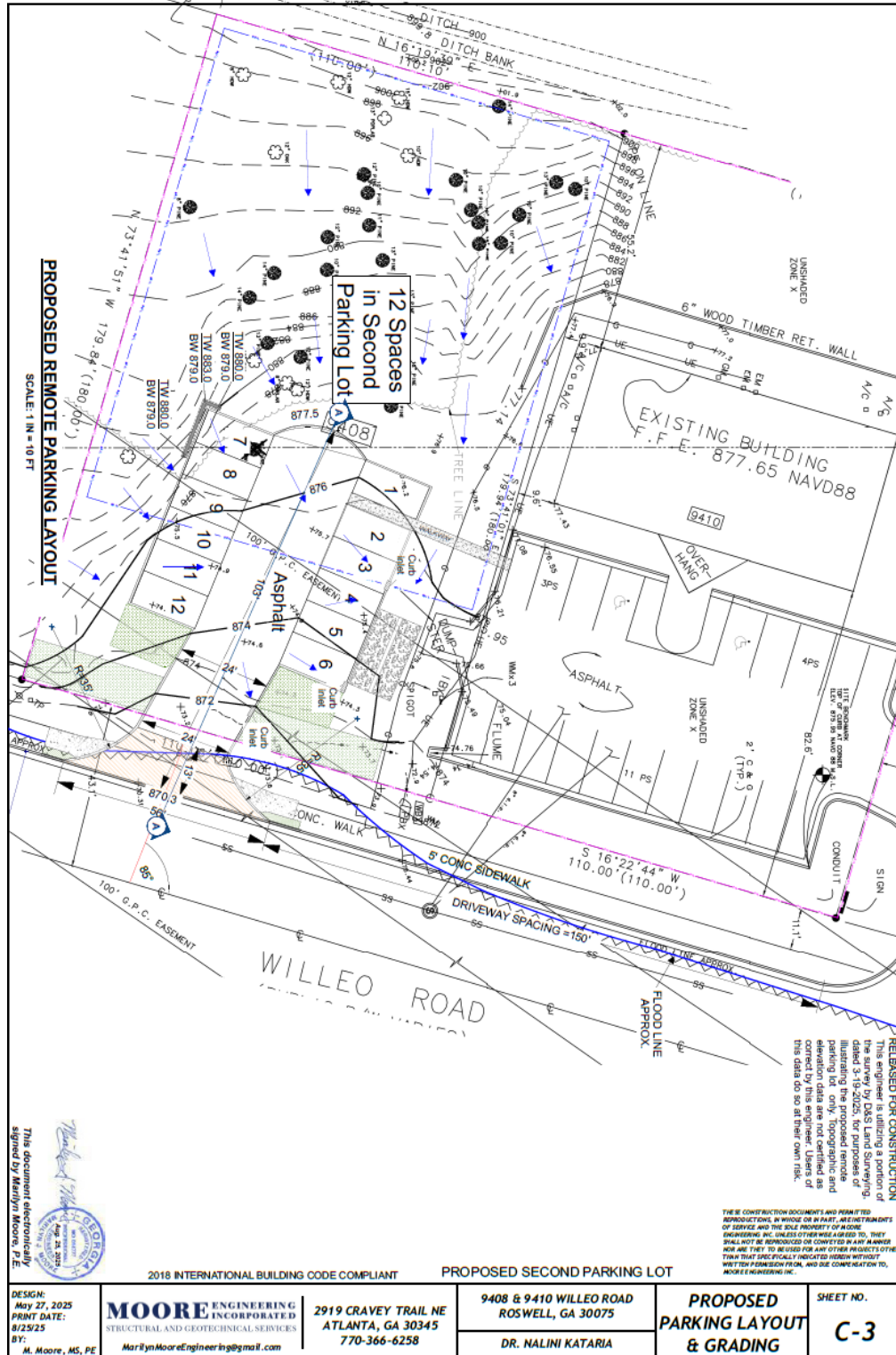
### Zoning Map:







## Proposed Site Plan







**Sign Photo of Willeo Road:**



Attachment: Staff Report (BZA20252958 - 9410 Willeo Road)





**Sign Photo of Willeo Exchange:**



Attachment: Staff Report (BZA20252958 - 9410 Willeo Road)





**View of Existing Building and Proposed Parking Lot Extension Area from Willeo Drive:**



**View of the Intersection of Willeo Exchange and Willeo Road**







**View of Proposed Parking Lot Extension Area from Willeo Drive:**



**View of Proposed Parking Lot Extension Area from Willeo Drive:**







**View of the Entrance/Exit off Willes Exchange**



Attachment: Staff Report (BZA20252958 - 9410 Willes Road)





**Proposed Parking Lot Extension Rendering**



**Birdseye Rendering of the Proposed Parking Extension**





**13.11.7 BZA Hardship Criteria:** To allow parking between the building and the street.

- A. A literal interpretation of the provisions of this UDC would effectively deprive the applicant of rights commonly enjoyed by other properties of the zoning district in which the property is located.**

A literal interpretation of the provisions of this UDC would effectively deprive the applicant of rights commonly enjoyed by other properties of the OP zoning district. There is an existing parking lot that is located between the building and the street. The adjacent properties both have existing parking lots located between the building and the street.

- B. Granting the requested variance will not confer upon the property of the applicant any special privileges that are denied to other properties of the zoning district in which the property is located.**

Granting the requested variance will not confer upon the property of the applicant any special privileges that are denied to other properties of the OP zoning district. The adjacent properties both have existing parking lots located between the building and the street.

- C. The requested variance will be in harmony with the purpose and intent of this UDC and will not be injurious to the neighborhood or to the general welfare.**

The requested variance will be in harmony with the purpose and intent of this UDC and will not be injurious to the neighborhood or to the general welfare. The purpose and intent of the UDC is to support the Comprehensive Plan. Per the Comprehensive Plan, this property is in the Neighborhood Residential Character Area. The variance request supports the goals of the Comprehensive Plan by preserving and maintaining the character of the area.

- D. The special circumstances are not the result of the actions of the applicant.**

The special circumstances are not the result of the actions taken by the applicant as the building and parking lot are both existing. The owner did not anticipate the rapid expansion due to the success of her business, which has prompted the need for more parking than the existing parking lot had at the time she established the dental practice.

- E. The variance requested is the minimum variance that will make possible the proposed use of the land, building or structure.**

The variance requested is the minimum variance possible in order to match the existing parking lot's location between the building and street.





- F. The variance does not permit a use of land, buildings or structures, which is not permitted by right in the zoning district.**

Parking lots are allowed within the OP zoning district by right.

- G. The variance does not reduce the lot size below the minimum lot size allowed in the zoning district.**

The variance does not reduce the lot size below the minimum lot size allowed in the zoning district.

- H. The variance does not increase the maximum allocation of sign area or the maximum area of an allowed sign type.**

The variance does not pertain to signs.

**13.11.7BZA Hardship Criteria:** Request to increase the maximum allowed parking.

- A. A literal interpretation of the provisions of this UDC would effectively deprive the applicant of rights commonly enjoyed by other properties of the zoning district in which the property is located.**

A literal interpretation of the provisions of this UDC would effectively deprive the applicant of rights commonly enjoyed by other properties of the OP zoning district. This property has a stand-alone business and is limited to the number of parking spaces that can be located on the lot. If the business was located within a shopping center, such as the one adjacent to the property, it would have access to a larger shared parking lot, and this variance request would not be necessary. Due to the size of the lot and the fact that there's only one tenant, the property owner, the business has less parking flexibility compared to a larger multi-tenant property.

- B. Granting the requested variance will not confer upon the property of the applicant any special privileges that are denied to other properties of the zoning district in which the property is located.**

Granting the requested variance will not confer upon the property of the applicant any special privileges that are denied to other properties of the OP zoning district. Businesses within the adjacent shopping center have access to a large, shared parking lot. The business on this lot is a standalone business and does not have the luxury of having enough parking spaces to keep up with customer demand without receiving a variance.



**C. The requested variance will be in harmony with the purpose and intent of this UDC and will not be injurious to the neighborhood or to the general welfare.**

The requested variance will be in harmony with the purpose and intent of this UDC and will not be injurious to the neighborhood or to the general welfare. The purpose and intent of the UDC is to support the Comprehensive Plan. Per the Comprehensive Plan, this property is in the Neighborhood Residential Character Area. This variance request is consistent with the Neighborhood Residential Character Area as it will preserve the existing scale and character of the surrounding community. Compared to what could be done on the property, (a building addition or new, larger structure), the expanded parking lot would be a less intense use.

**D. The special circumstances are not the result of the actions of the applicant.**

The special circumstances are not the result of the actions taken by the applicant as the building and parking lot are both existing. The owner did not anticipate the rapid expansion of her business and the need for additional parking at the time she established the dental practice.

**E. The variance requested is the minimum variance that will make possible the proposed use of the land, building or structure.**

The variance requested is not the minimum variance possible given the expected number of employees and patients that will be utilizing the parking lot at any given time. After the building's interior remodel is finished, there will be 15 employees on site during the day. The dental practice is increasing the number of rooms from five to ten, thus the owner expects there to be double the number of patients being seen at a time. Therefore, the amount of parking that will be needed for the business to operate will be at least 25. However, the request for 12 additional parking spaces will ensure that there will be enough parking for patients and employees at any given time.

**F. The variance does not permit a use of land, buildings or structures, which is not permitted by right in the zoning district.**

Parking lots are allowed within the OP zoning district by right.

**G. The variance does not reduce the lot size below the minimum lot size allowed in the zoning district.**

The variance does not reduce the lot size below the minimum lot size allowed in the zoning district.





**H. The variance does not increase the maximum allocation of sign area or the maximum area of an allowed sign type.**

The variance does not pertain to signs.

**Date:** July 1, 2025  
**From:** Dr. Nalini Kataria  
 9410 Willeo Rd, Suite A  
 Roswell, GA 30075

**To:**  
 The City of Roswell  
 Board of Zoning Appeals  
 Roswell, GA 30075

**Subject:** Request for Variances – Hardship Explanation for 9408 Willeo Rd

**Dear Members of the Board,**

I am the owner of both 9410 and 9408 Willeo Road (referred to as Tract A and Tract B on the survey). My dental practice operates from the building at 9410 Willeo Road, where we provide high-quality family dental care to the Roswell community and surrounding areas. As the community continues to grow, so does the demand for our services — and with it, the need for additional parking.

Currently, we have 18 parking spaces on-site, and it is common for patients to wait for others to leave in order to find parking. This challenge is growing as our patient base expands, and it is beginning to impact access to care and the overall patient experience.

In 2025, early this year the City of Roswell approved an increase in the occupancy of the practice from approximately 11–15 to 54 occupants as part of a permitted interior expansion. Construction is already underway. This expansion will allow us to meet growing patient demand but also significantly increases daily parking needs. With limited on-site parking and no available on-street or overflow parking nearby, the inability to add spaces would directly limit access to care — especially for our elderly and disabled patients who rely on timely, accessible visits. With the approval of our prior permit, we are sincerely hopeful the City will also grant the requested variances to accommodate this growth and ensure continuity of care for our patients.

The adjacent property at 9408 Willeo Road is undeveloped and not viable for structural development due to existing Georgia Power infrastructure, including a large tower and overhead power lines. These features restrict grading and construction to protect the tower's foundation. The site's topography is also challenging — with only a small, level area at the front of the property and steep, heavily wooded slopes toward the rear. The balance of the lot contains many mature trees and natural features that we are committed to preserving, both for environmental reasons and to maintain the character of the neighborhood. Developing parking in the front is the only viable option that avoids disturbing these natural areas.

Given these limitations, the most practical and beneficial use of 9408 Willeo Road is to develop it for additional surface parking — specifically, 12 spaces located in the front, level portion of the lot, mirroring the parking configuration of Tract A. No buildings are proposed now or in the future.

Attachment: Letter of Intent (BZA20252958 - 9410 Willeo Road)

To implement this plan, I respectfully request two variances:

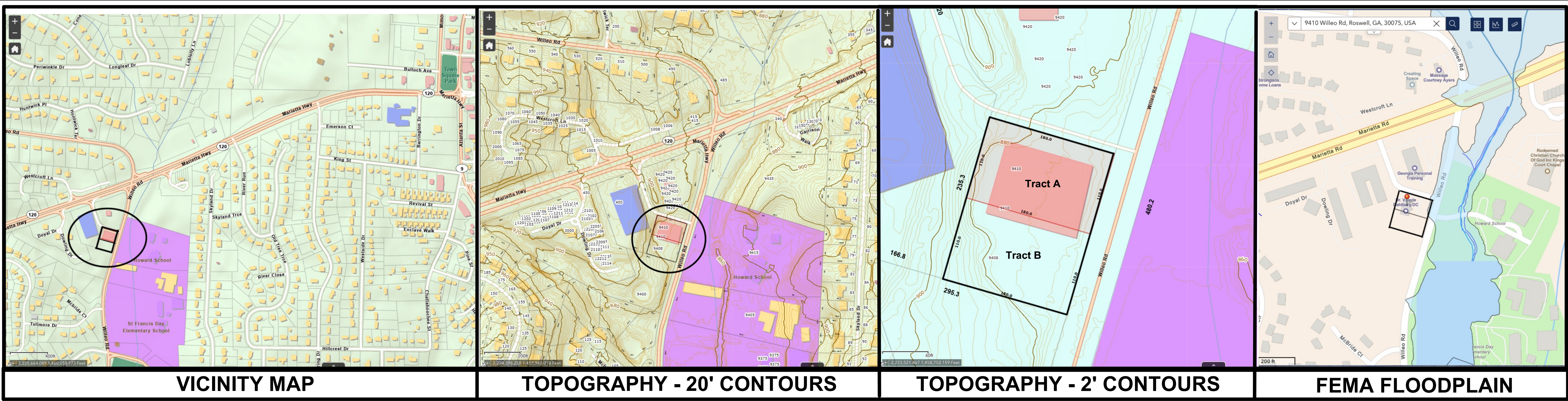
1. **A variance to exceed the maximum number of allowed parking spaces**, to accommodate 12 additional spots that are urgently needed to meet our operational and patient care demands.
2. **A variance to allow parking between the building and the street**, consistent with the existing layout at 9410 Willeo Road.

My civil engineer, Marilyn Moore, P.E., and I have worked closely with City of Roswell staff to ensure all design elements meet city standards. We are confident that our proposal is thoughtful, necessary, and consistent with surrounding development patterns.

Thank you for your time and consideration. Please feel free to contact me or Marilyn Moore, P.E., with any questions regarding this request.

**Warm regards,**  
**Nalini Kataria, DMD**  
9410 & 9408 Willeo Road  
Roswell, GA 30075





**LOT INFORMATION**

**Lot Size**  
Tract A  
0.4545 acres  
19,800 sf

**Tract B**  
0.4545 acres  
19,800 sf

**Total Lot Size**  
0.909 acres  
39,600 sf

**Setbacks**  
Tract B Front: 50' (5' for Tract A)  
Side Street: 5'  
Side Interior: 0' or 3'  
Rear: 0' or 3'

**Sewer/ Septic:** Sewer

**OWNER/ CONTRACTOR**  
Property Owner Information  
Hardi Willeo Investments LLC  
9410 Willeo Rd., Suite A  
Roswell, GA 30075

**Property Address**  
9408/ 9410 Willeo Road  
Roswell, GA 30075

**24-Hr Site Contact**  
Nalini Kataria  
404-723-2991  
nhardi@yahoo.com

**Contractor**  
United Concrete and Paving  
1363 Brooke Farm Way  
White, GA 30184  
404-831-3036  
michael@unitedcandp.com

**Watershed/ Flood Plain Mgmt.**  
This property is not located in any 100-year flood areas or other areas having special flood hazards. The limits of the 100-year floodplain is located along the sidewalk.

**State Waters:** None. Natural topography drains gently towards the east side of the lot.

**Tree Impact**  
a See Sheet C-7 for the Tree Survey and Impact.  
b Two (2) trees to be removed.  
c No trees will be impacted beyond the limits of land disturbance.  
d Tree save and silt fence to be provided.

**Disturbance**

- Limits of Disturbance: 8,453.5 sf
- Silt Fence Length: 167.25 ft
- Cut: 1128 cf

**PROPOSED IMPERVIOUS - CALCULATIONS**

<b>Existing Impervious</b>	
Dental Office with overhang:	3,635.4 sf
Sidewalk:	354.0 sf
Existing Parking Lot:	6,751.4 sf
Total Existing Impervious:	10,740.8 sf
<b>Proposed 2nd Parking Lot</b>	
Entrance:	482.1 sf
New Driveway:	2,120.8 sf
12 Spaces:	1,944.0 sf
Curb:	290.0 sf
Total Proposed Impervious:	4,838.9 sf
TOTAL:	15,579.7 sf
Total Area:	39,600.0 sf

- Georgia Codes**
  - 1 2018 International Building Code (IBC) with 2020 and 2022 Georgia Amendments
  - 2 2023 OCGA 120-3-3 Georgia Minimum Fire Safety Standards
  - 3 2018 International Fire Code (Amended by 120-3-3)
  - 4 2018 NFPA 101 Life Safety Code (Amended by 120-3-3)

- Other References**
  - 5 Roswell, GA Unified Development Code and Design guidelines (UDC)
  - 6 City of Roswell Code of Ordinances
  - 7 City of Roswell Standard Construction Specifications (Roswell SCS)
  - 8 GDOT Regulations for Driveway & Encroachment Control Manual

SECOND PARKING LOT  
ADJACENT TO DR. KATARIA'S  
EXISTING PRACTICE

9408/ 9410 WILLEO ROAD  
ROSWELL, GA 30075

PARCEL ID - TRACT A: 12 172003370879  
PARCEL ID - TRACT B: 12 172303320602  
LAND LOTS: 331, 332, 342, 343  
1st DISTRICT, 2nd SECTION  
FULTON COUNTY  
ZONING: OP (OFFICE PARK)

A copy of these plans shall be kept on-site.

**Construction Inspection Note:**  
1 Before starting any land disturbing activities, the contractor is required to schedule a pre-construction meeting with local area and erosion control inspector. Failure to schedule this meeting will result in a stop work order or permit revocation.  
2 Stormwater BMPs are required, and an inspection is required by Fulton County Engineering Staff before a Certificate of Occupancy is given. \*The Stormwater BMPs must be inspected prior to backfilling or completion.

TABLE OF CONTENTS	
Label	Title
C-1	Cover Page
C-2	2025 As-Built Survey
C-3	Proposed Parking Layout & Grading
C-4	Driveway & Retaining Wall Details
C-5	Site Plan
C-6	GSWCC Erosion Control BMPs & Notes
C-7	Tree Survey & Landscaping Notes
C-8	Tree Planting Details
C-9	Water Quality: Layout & Section A-A
C-10	Water Quality Calculations & Details

**PROJECT DESCRIPTION**  
**Existing**  
1 Dr. Kataria bought an existing dental practice with a chiropractor renting one side of the structure. This occupies Tract A. Dr. Kataria also bought the adjacent Tract B for extra future parking. At the time, she was advised to combine Tract A and Tract B, which she did.  
2 Tract A with the existing building and parking lot is non-conforming, with a 5-foot front setback. Tract B is within the newer Build 2 zone, with a 50-foot setback.  
3 Dr. Kataria is now expanding her practice by remodeling the existing structure to fully occupy both sides of the building. No new structure to be built. There will be multiple patient rooms, multiple dentists and dental assistants.  
4 The existing parking lot, with 18 parking spaces, including 2 handicap parking spaces, is not sufficient for the planned practice.  
5 In order to have a full practice, 12 additional remote parking spots for dentists, assistants and patients are proposed to be located on the vacant lot Tract B.  
6 The vacant lot has topographic challenges with a hill on the left (west side) occupied by GA Power towers, with the hill continuing around the back half of the lot. This area is covered in trees.  
7 There is a small portion of the vacant lot that is level, without trees that lies within the new 50-foot setback. This is the only location where a parking lot can be effectively placed. No current or future use beyond a parking lot is planned.

**Proposed Second Parking Lot on Tract B**  
We propose to construct a second parking lot, with 12 spaces, within the level portion of Tract B, adjacent to the existing parking lot, with 2 landscaping islands and frontal landscaping strip with (20) shrubs.  
8 A new driveway entrance will provide access from Willeo Road to the new parking lot.  
9 Driveway spacing is 150 ft; no right-in, right-out deceleration lane is needed. Traffic engineer's letter provided.  
10 The new separate Tract B parking will be 96 ft. from the front door of the dental building. There will be a walkway to approach the front door in a straight line as the nearest route.  
11 Runoff reduction will be provided for the new area, per Section 12.5.1.D.5 of the UDC with an infiltration trench (See C-9).  
12 Lot to be graded to direct runoff to curb inlets (See C-9).

**This document electronically signed by Marilyn Moore, P.E.**



2.2.c

**COVER PAGE**

**SHEET NO. C-1**

**9408 & 9410 WILLEO ROAD  
ROSWELL, GA 30075**

**DR. NALINI KATARIA**

**2018 INTERNATIONAL BUILDING CODE COMPLIANT**

**2025 AS-BUILT SURVEY**

**2919 CRAVEY TRAIL NE  
ATLANTA, GA 30345**

**770-366-6258**

**MOORE ENGINEERING INCORPORATED**  
STRUCTURAL AND GEOTECHNICAL SERVICES

**Marilyn Moore**  
MarilynMooreEngineering@gmail.com

**DESIGN:** May 27, 2025  
**PRINT DATE:** 8/25/25  
**BY:** M. Moore, MS, PE

THESE CONSTRUCTION DOCUMENTS AND PERMITTED REPRODUCTIONS, IN WHOLE OR IN PART, ARE INSTRUMENTS OF SERVICE AND THE SOLE PROPERTY OF MOORE ENGINEERING INC. UNLESS OTHERWISE AGREED TO, THEY SHALL NOT BE REPRODUCED OR CONVEYED IN ANY MANNER NOR ARE THEY TO BE USED FOR ANY OTHER PROJECTS OTHER THAN THAT SPECIFICALLY INDICATED HEREIN WITHOUT WRITTEN PERMISSION FROM, AND DUE COMPENSATION TO, MOORE ENGINEERING INC.

Attachment: Site Plan (BZA20252958 - 9410 Willeo Road)



RELEASED FOR CONSTRUCTION

THESE CONSTRUCTION DOCUMENTS AND PERMITTED REPRODUCTIONS, IN WHOLE OR IN PART, ARE INSTRUMENTS OF SERVICE AND THE SOLE PROPERTY OF MOORE ENGINEERING INC. UNLESS OTHERWISE AGREED TO, THEY SHALL NOT BE REPRODUCED OR CONVEYED IN ANY MANNER NOR ARE THEY TO BE USED FOR ANY OTHER PROJECTS OTHER THAN THAT SPECIFICALLY INDICATED HEREIN WITHOUT WRITTEN PERMISSION FROM, AND DUE COMPENSATION TO, MOORE ENGINEERING INC.

SHEET NO.

2025 AS-BUILT  
AND SURVEY

9408 & 9410 WILLEO ROAD

ROSWell, GA 30075

DR. NALINI KATARIA

2919 CRAVEY TRAIL NE

ATLANTA, GA 30345

770-366-6258

MOORE ENGINEERING  
INCORPORATED  
STRUCTURAL AND GEOTECHNICAL SERVICES

MarilynMooreEngineering@gmail.com

DESIGN:

May 27, 2025

PRINT DATE:

8/25/25

BY:

M. Moore, MS, PE

2025 AS-BUILT AND TOPOGRAPHIC  
SURVEY

SCALE: 1 IN = 25 FT

This document electronically  
signed by Marilyn Moore, P.E.



2018 INTERNATIONAL BUILDING CODE COMPLIANT

PROPOSED SECOND PARKING LOT

**CITY OF ROSWELL NOTES:**

1. THE NATURAL DRAINS, BRANCHES, CULVERTS AND DRAINAGE STRUCTURES SHOWN ON THIS PLAT ARE NECESSARY FOR DRAINAGE OF THE SUBDIVISION, AND THE CITY OF ROSWELL WILL NOT BE HELD RESPONSIBLE FOR OVERFLOW OR EROSION CAUSED BY THEM OR FOR EXTENSION OF CULVERTS SHOWN, PURSUANT TO THE 'UNIFIED DEVELOPMENT CODE OF THE CITY OF ROSWELL'. THIS PLAT WAS GIVEN FINAL APPROVAL BY THE CITY OF ROSWELL.
2. NO STRUCTURE SHALL BE LOCATED WITHIN FORTY (40) FEET OF AN OPEN DRAIN.
3. DISTURBANCE OF THE 100 YEAR FLOOD PLAIN IS PROHIBITED.
4. PROOF OF FULTON COUNTY APPROVAL FOR WATER CONNECTION, SEWER CONNECTION OR SEPTIC SYSTEM SHALL BE PROVIDED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
5. PROPERTY IS SERVED BY FULTON COUNTY WATER AND SANITARY SEWER.
6. WATER QUALITY, CHANNEL PROTECTION AND DETENTION MUST BE PROVIDED FOR ALL AREAS OF IMPERVIOUS SURFACE CONTAINED ON EACH LOT PRIOR TO ISSUANCE OF ANY DEVELOPMENT PERMIT. RUNOFF MUST BE CONTROLLED FROM ALL IMPERVIOUS AREAS. STORMWATER DESIGN MUST BE CONSISTENT WITH THE GEORGIA STORMWATER MANAGEMENT MANUAL, LATEST EDITION, AND DESIGN AND INSTALLATION MUST BE APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT, ENGINEERING DIVISION.
7. THE 10' ACCESS EASEMENT SHOWN ON TRACT B IS TO ALLOW THE TRACT A PROPERTY OWNER ACCESS TO MAINTAIN THE EXISTING RETAINING WALL ON THE PROPERTY.

**SITE DATA:**

TYPE OF SITE SURVEY: TOPOGRAPHIC AND AS-BUILT

CURRENT OWNER (PER TAX ASSESSOR):  
HARDI WILLEO INVESTMENTS L.L.C.  
940 WILLEO RD.  
ROSWell, GA. 0075

SOURCE FOR TITLE: PLAT BOOK 427, PAGE 10

(ALL INFORMATION BELOW IS FROM PLAT OF RECORD)

AREA: SITE ADDRESS 9408 0.45455 ACRES  
19800 SQUARE FT.

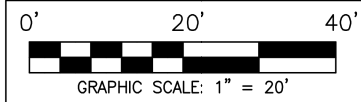
ZONING: OP(OFFICE PARK)  
GENERAL BUILDING DESIGNATION

MINIMUM SETBACK REQUIREMENTS:  
FRONT(PRIMARY STREET): 5 FEET  
SIDE STREET: 5 FEET  
SIDE INTERIOR: 0 or 3 FEET  
REAR: 0 or 3 FEET

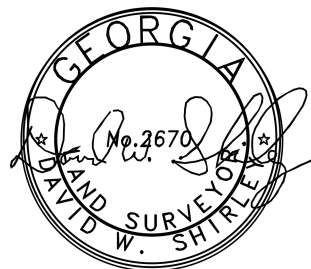
MINIMUM LOT AREA: 5,000 SQUARE FEET  
LOT WIDTH: 50 FEET

LOT PARAMETERS:  
LANDSCAPE OPEN SPACE (MIN) 10%  
OUTDOOR AMENITY SPACE(MIN) 10%

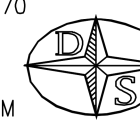
POWERLINE EASEMENT AND FLOOD LINE LOCATIONS WERE GRAPHICALLY OBTAINED PLAT OF RECORD.



THIS MAP AND THE COLLECTION OF THE DATA USED TO CREATE THE MAP MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS FOR THE TYPE OF SURVEY DEPICTED.



PREPARED BY:  
D&S LAND SURVEYING, INC.  
DAVID W. SHIRLEY, RLS #2670  
P.O. BOX 4968  
CANTON, GA 30114  
770-720-4443  
DSSURVEYMAILBOX@GMAIL.COM  
DSLANDGA.COM



DATE OF MAP: 3-19-2025

**LEGEND**

- PROPERTY CORNER WITHOUT MONUMENT
- MONUMENTED PROPERTY CORNER
- TOP OPEN TOP PIPE
- TOP CRIMPED TOP PIPE
- R/W RIGHT OF WAY
- DB DEED BOOK
- PB PLAT BOOK
- PG PAGE
- N/F PRESENT OR FORMER OWNER
- IPS IRON PIN SET
- IPF IRON PIN FOUND
- IPSF IRON PIN SET FUTURE
- L.L. LAND LOT
- L.L.L. LAND LOT LINE
- N.T.S. NOT TO SCALE
- P.O.B. POINT OF BEGINNING
- FENCE
- GAS LINE (MARKED)
- WM WATER METER
- WL WATER LINE
- WBX WATER BOX
- UCL UNDERGROUND COMM LINE
- UCB UNDERGROUND COMM BOX
- COMM MAIN HOLE
- LIGHT POLE
- POWER POLE
- OVERHEAD POWER LINE
- UNDERGROUND ELECTRIC (MARKED)
- EM ELECTRIC METER
- PBX PAD MOUNTED TRANSFORMER
- FO FIBER OPTIC
- DE DRAINAGE EASEMENT
- SSE SANITARY SEWER EASEMENT
- SS SANITARY SEWER MANHOLE
- BL BUILDING LINE
- CL CENTERLINE
- XX SPOT ELEVATION
- TX INVERT ELEVATION

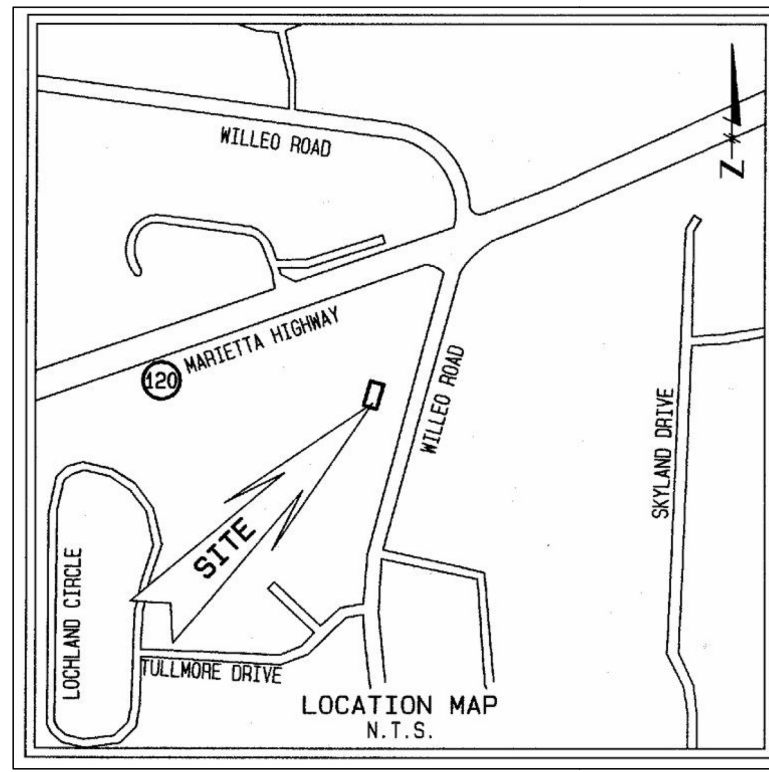
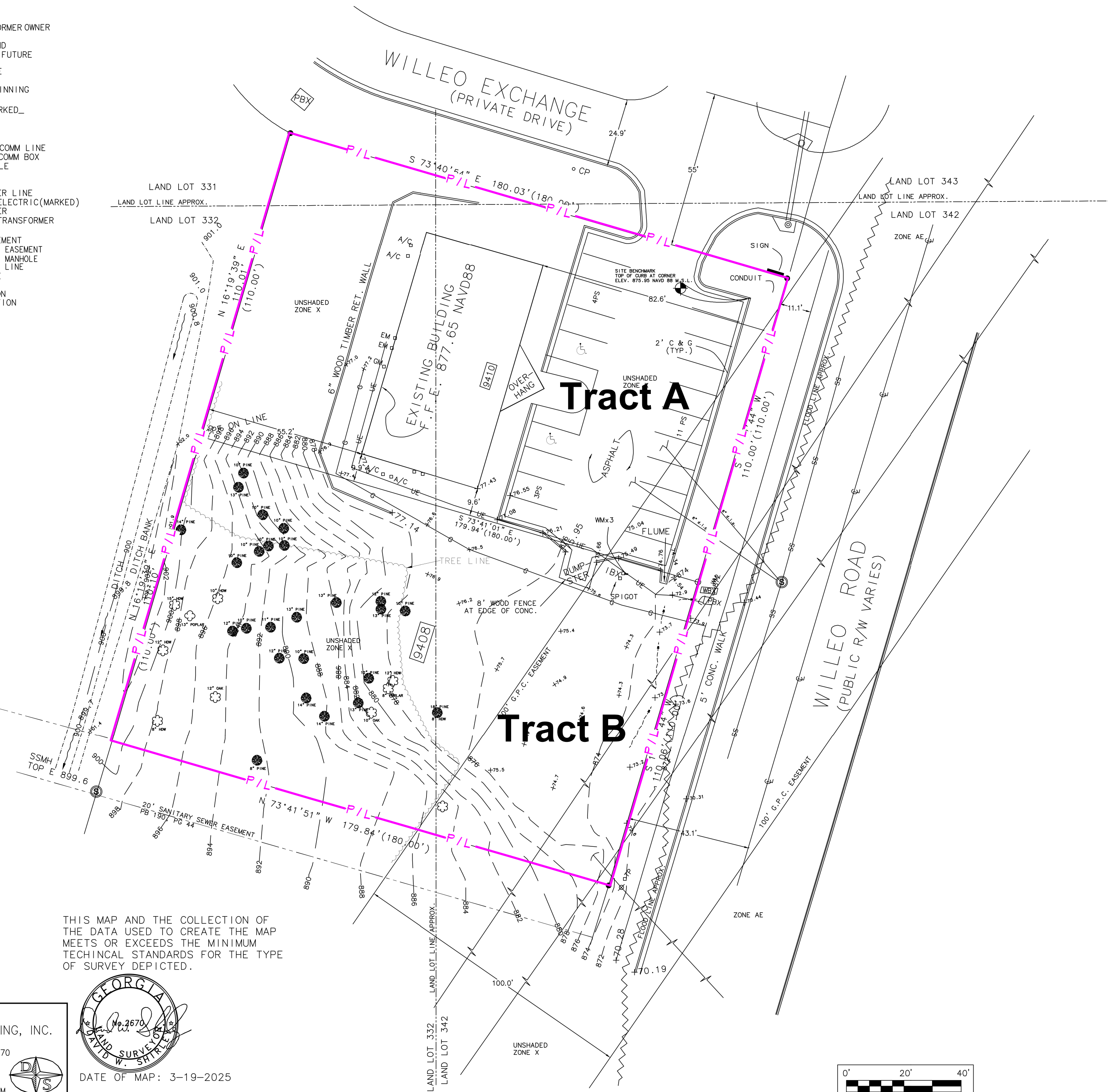
**SURVEY NOTES:**

- 1.) ALL DISTANCES ON SURVEY ARE HORIZONTAL DISTANCES.
- 2.) ALL DISTANCES ON SURVEY ARE SHOWN AS "GROUND" DISTANCES.
- 3.) ALL DISTANCES ON SURVEY ARE EXPRESSED IN U.S. SURVEY FEET
- 4.) ALL ANGULAR DIRECTIONS ARE EXPRESSED IN DEGREES, MINUTES AND SECONDS.
- 5.) IF INDICATED, STREAMS ORIGINATING OR FLOWING THROUGH THE MAPPED PROPERTY ARE CONSIDERED STATE WATERS AND ARE SUBJECT TO LOCAL GOVERNMENT BUFFER AND SETBACK REQUIREMENTS. THERE ARE NO STATE WATERS APPARENT WITHIN THE PLATTED BOUNDARY.
- 6.) THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS OF WAY BOTH PUBLIC AND PRIVATE. ALL MATTERS OF TITLE ARE EXCEPTED.
- 7.) EQUIPMENT USED FOR FIELD MEASUREMENTS IS A GEOMAX TOTAL STATION. THE FIELD DATA WAS COLLECTED BY REDUNDANT MEASUREMENTS. THE RELATIVE POSITION ACCURACY OF WHICH DOES NOT EXCEED 0.04 FOOT. THIS MAP HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO HAVE A CLOSURE PRECISION OF 1" IN XXXXXX'. THE BENCHMARK ELEVATION WAS ESTABLISHED FROM A REAL TIME KINEMATIC GPS SURVEY USING EGPS SOLUTIONS 207L GNSS RECEIVERS (SN 3369083) USING CORRECTIONS VIA A CELL PHONE FROM EGPS SOLUTIONS REAL TIME NETWORK. THE TECHNIQUE USED WAS RTK CORRECTED MEASUREMENTS FROM THE TRIMBLE VRS REAL TIME NETWORK OPERATED BY EGPS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY OBTAINED ON THE POINTS UTILIZED IN THIS SURVEY WERE 0.04 FT. HORIZONTAL AND 0.07 FT VERTICAL AT THE 95% CONFIDENCE LEVEL.
- 8.) FIELD WORK AND MAP PREPARED BY D.S.
- 9.) ALL PINS SET ARE FOUND ARE 1/2" DIAMETER REBARS UNLESS OTHERWISE NOTED.
- 10.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A LEGAL TITLE SEARCH, AND IS SUBJECT TO ANY AND ALL DISCLOSURES PRODUCED BY SAME INCLUDING EASEMENTS WHETHER OR NOT SHOWN ON THIS PLAT. THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITY NAMED HEREON. EDITING OR REPRODUCTION WITHOUT THE CONSENT OF THE SURVEYOR IS PROHIBITED.
- 11.) THIS SURVEY IS NOT A BOUNDARY RETRACEMENT SURVEY.
- 12.) THE CONTOURS SHOWN ARE AT A 2 FOOT INTERVAL & ARE BASED ON FIELD COLLECTED DATA ON 11-27-2024.
- 13.) LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY IS DETERMINED BY OBSERVABLE EVIDENCE ONLY. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTION AND SUBSURFACE CONDITIONS THAT ARE NOT VISIBLE OR RECORDED. THIS PLAT IS INTENDED FOR THE PARTIES STATED ON THE FACE OF SURVEY. USE OF THE SURVEY BY THIRD PARTIES IS AT THEIR OWN RISK.

**FLOOD STATEMENT:**

THIS PROPERTY IS DEPICTED AS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA BY GRAPHICAL INTERPRETATION OF FLOOD INSURANCE RATE MAP(F.I.R.M.) OF CITY OF ROSWELL 13121C00836, DATED: SEPT. 18, 2013. THIS OPINION IS NOT A CERTIFICATION OF FLOOD HAZARD STATUS, BUT AN INTERPRETATION OF THE REFERENCED MAP AND PUBLIC DATA. IF THE EXACT LOCATION OR ELEVATION OF THE FLOOD HAZARD BOUNDARIES ARE NECESSARY, A MORE DETAILED STUDY MAY BE NEEDED.

D & S LAND SURVEYING, INC. ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE ACCURACY OF THE REFERENCED MAP OR PUBLIC DATA.



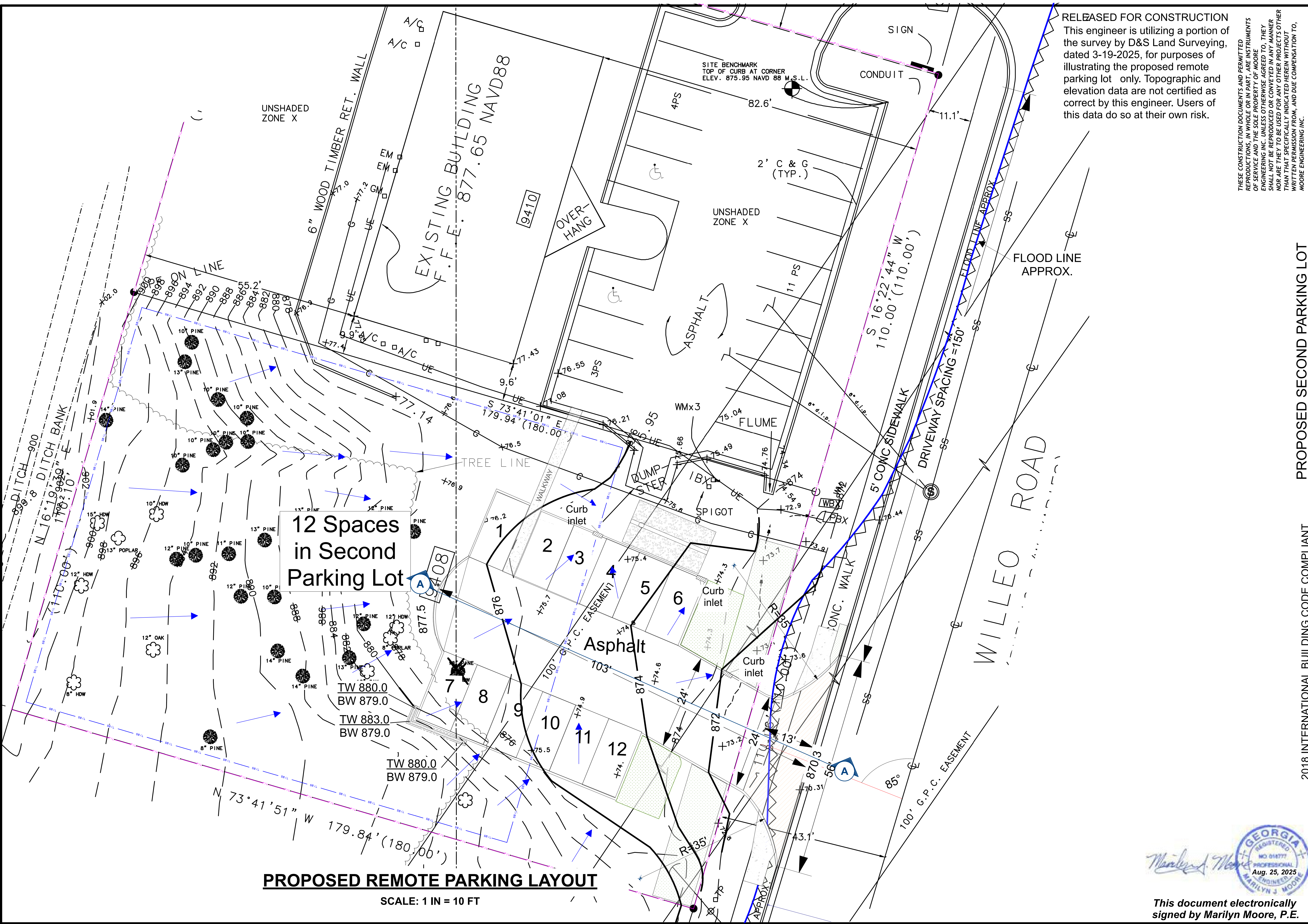
GRID GA - WEST ZONE  
PER PLAT OF RECORD



RELEASED FOR CONSTRUCTION  
This engineer is utilizing a portion of the survey by D&S Land Surveying, dated 3-19-2025, for purposes of illustrating the proposed remote parking lot only. Topographic and elevation data are not certified as correct by this engineer. Users of this data do so at their own risk.

THESE CONSTRUCTION DOCUMENTS AND PERMITTED REPRODUCTIONS, IN WHOLE OR IN PART, ARE INSTRUMENTS OF SERVICE AND THE SOLE PROPERTY OF MOORE ENGINEERING INC. UNLESS OTHERWISE AGREED TO, THEY SHALL NOT BE REPRODUCED OR CONVEYED IN ANY MANNER NOR ARE THEY TO BE USED FOR ANY OTHER PROJECTS OTHER THAN THAT SPECIFICALLY INDICATED HEREIN WITHOUT WRITTEN PERMISSION FROM, AND DUE COMPENSATION TO, MOORE ENGINEERING INC.

DESIGN: May 27, 2025 PRINT DATE: 8/25/25 BY: M. Moore, MS, PE	<b>MOORE ENGINEERING INCORPORATED</b> STRUCTURAL AND GEOTECHNICAL SERVICES 2919 CRAVEY TRAIL NE ATLANTA, GA 30345 770-366-6258 MarilynMooreEngineering@gmail.com	2018 INTERNATIONAL BUILDING CODE COMPLIANT	PROPOSED SECOND PARKING LOT	9408 & 9410 WILLEO ROAD ROS WELL, GA 30075 DR. NALINI KATARIA	PROPOSED PARKING LAYOUT & GRADING	SHEET NO. <b>C-3</b>
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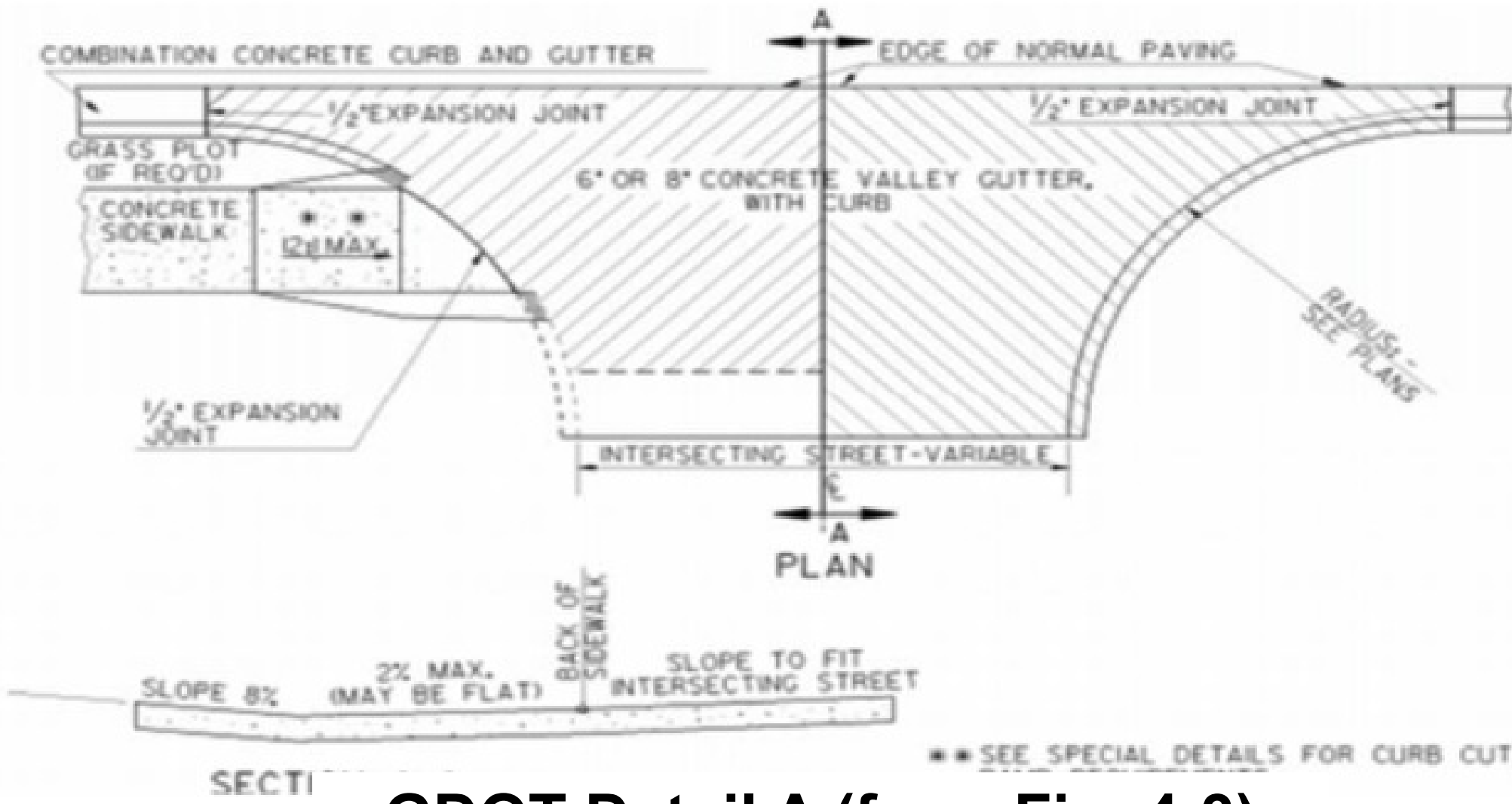


**PROPOSED REMOTE PARKING LAYOUT**  
SCALE: 1 IN = 10 FT

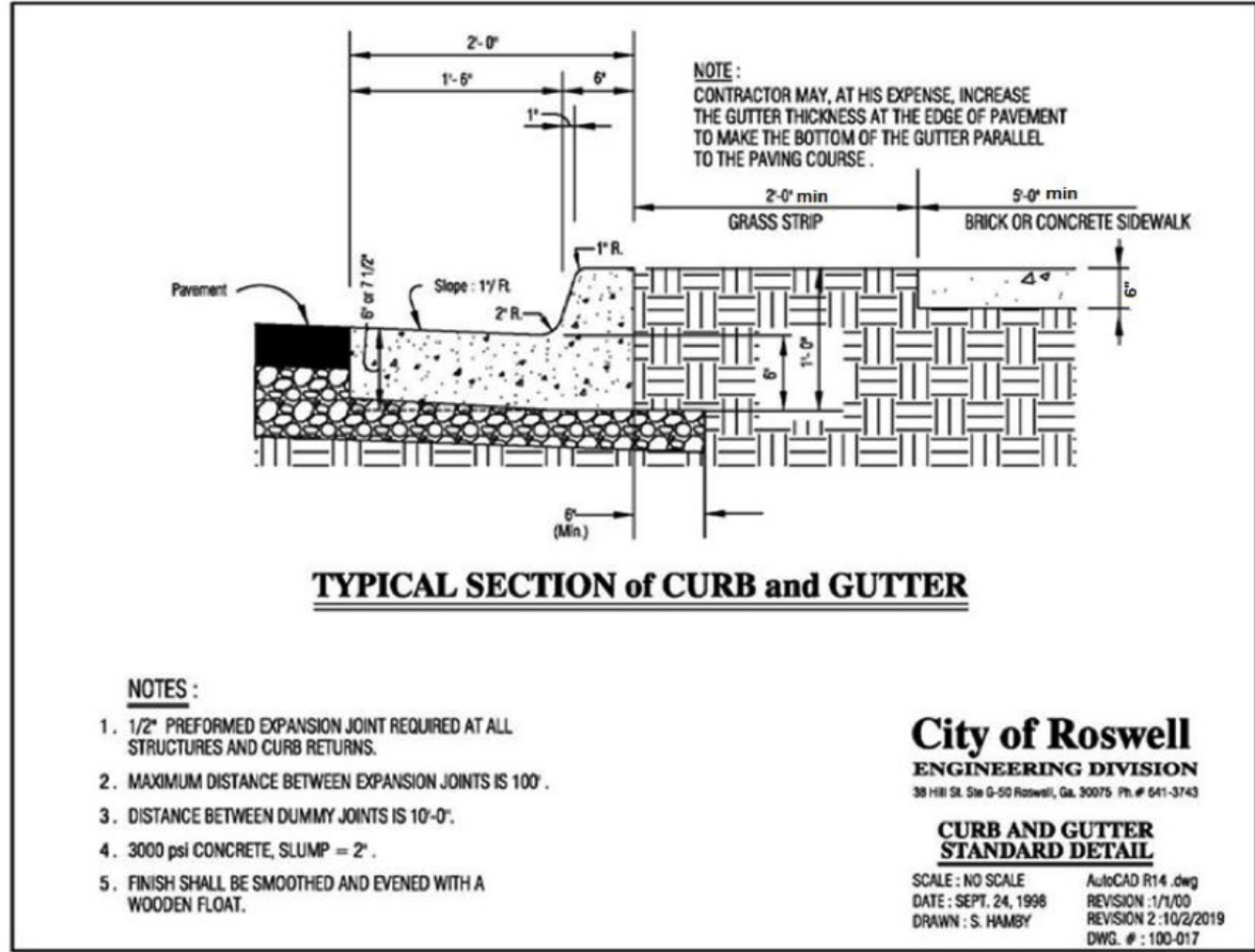
*Marilyn Moore*  
REGISTERED PROFESSIONAL ENGINEER  
NO. 04577  
AUG. 25, 2025  
MARILYN J. MOORE  
This document electronically signed by Marilyn Moore, P.E.



DRIVEWAY CONNECTION



GDOT Detail A (from Fig. 4-3)



Roswell Curb & Gutter

Asphalt Pavement Design

- 1 Asphalt topping: Type "E" or "F" - 2 inches.
- 2 Base: Graded aggregate base (GAB), compacted to 100% Std. Proctor - 6 inches.
- 3 Subgrade: Cut natural soil with bearing capacity = 2800 psf, or per geotechnical engineer.

POSTED SPEED, MPH	MINIMUM DRIVEWAY SPACING WITHOUT RIGHT TURN LANE, FT.	MINIMUM DRIVEWAY SPACING WITH RIGHT TURN LANE, FT.
25	125	125
30	125	125
35	150	150
40	185	185
45	230	230
50	275	275
55	350	350
60	450	450
65	550	550

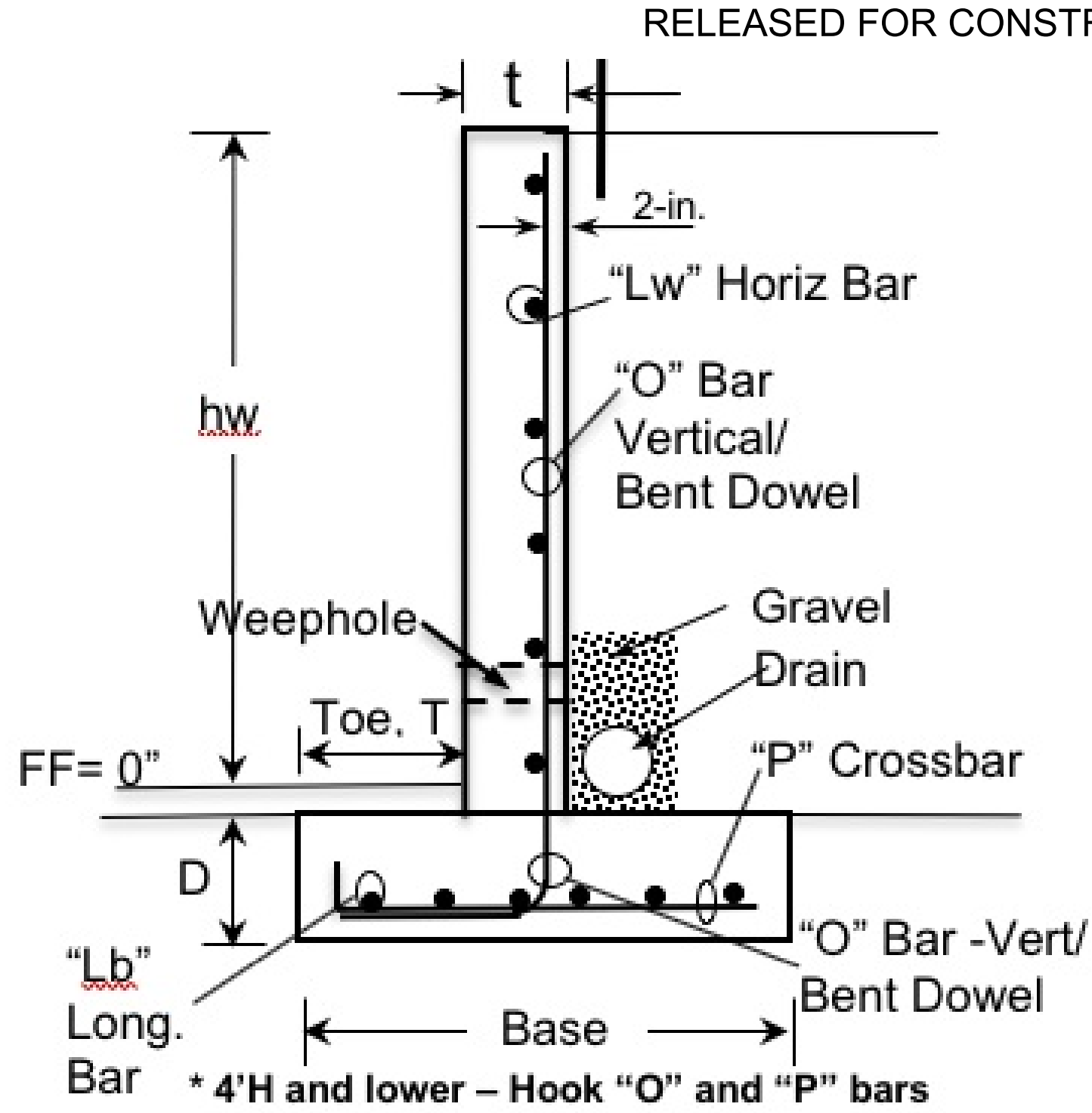
GDOT Table 3-1: Driveway Spacing

Remote Parking Lot Notes

- 1 Driveway spacing: 150 feet (no deceleration lane required, per GDOT Table 3-1).
- 2 Driveway shall provide uninterrupted ingress/egress of 25 feet (maximum peak hour volume up to 50 vehicles, Roswell SCS Table 2.6).
- 3 Width: Minimum 24 feet for two way access (Roswell SCS 2.1.7.3).
- 4 Radii: Minimum 30 feet (Roswell SCS 2.1.7.3) or 35 feet (GDOT Table 4-2).
- 5 Angle of intersection: Not less than 75° (Roswell SCS 2.1.7.3) or 85° (GDOT Table 4-5).
- 6 Grade: Shall not exceed 10% grade and must comply with all other International Fire Code requirements.
- 7 Entrance distance from edge of traveled way: 13 feet (12 feet to 14 feet, GDOT Table 4-10).
- 8 Length: Total = 103 feet (less than 150 feet - no fire truck turn around required).
- 9 Sidewalk transitions to comply with ADA/PROWAG requirements, as necessary.
- 10 Each parking space shall be clearly marked by a painted stripe no less than three (3) inches wide running the length of the longer sides of the space or by curbing or by other acceptable method which clearly marks and delineates the parking space within the parking lot.
- 11 All curb dimensions are to the front of curb unless otherwise noted.
- 12 All construction shall comply with the City of Roswell standards.
- 13 Contractor shall maintain appropriate traffic control measures for emergency and all other vehicles at the site, and in accordance with all Federal, State, and local ordinances and laws.
- 14 No outside storage proposed. This includes supplies, equipment, vehicle products, etc.
- 15 Parking lots shall be maintained in good condition, free of potholes, weeds, dust, trash, and debris.

Foundation Notes

- 1 Allowable soil bearing capacity of engineered fill/ foundation to be greater than or equal to 2400 psf.
- 2 All footings must bear on original undisturbed soil, where possible, or structural fill, per the geotechnical engineer.
- 3 Remove all organic /unsuitable soils and replace with clean structural fill at the direction of the geotechnical engineer.



Height, **H (ft)	Stem Width, t (in)	Footing Dimensions and Steel					Wall Steel	
		Depth (D in)	Base (B)	Toe (T)	"P" Bar / Crossbar	"Lb" Longitudinal Bar	"O" Bar (Vertical/ Bent Dowel /Toe)	"Lw" Horizontal Bar
Design by Geo-Enviro Engineering, Inc., Marilyn Moore, PE - Not in the Public Domain								
*2 to *3	10"	12"	2'-4"	0'-9"	#4, 24" OC	3 #4s, 9" oc	#4, 24" OC	#4, 10" OC
*4	10"	12"	2'-9"	0'-9"	#4, 24" OC	4 #4s, 8" oc	#4, 24" OC	#4, 10" OC
5	10"	12"	3'-6"	1'-4"	#4, 24" OC	5 #4s, 8" oc	#4, 24" OC	#4, 10" OC
6	10"	12"	4'-0"	1'-6"	#4, 18" OC	6 #4s, 8" oc	#4, 18" OC	#4, 10" OC

- \* 4'H and lower – Hook "O" and "P" bars
- \*\* H = hw + FF (ft)

Reinforced Concrete and Structural Steel

- 1 Reinforced concrete to conform with ACI 318-14 "Building Code Requirements for Reinforced Concrete". Concrete 28-day compressive strength to be 3000 psi. Concrete construction to follow ACI350-1.
- 2 Place concrete at a slump of 4-inches, +/- 1".
- 3 Reinforcing steel to conform to ASTM A615, with yield strength of 60 ksi.
- 4 Concrete cover on all reinforcing steel:
  - a Concrete against earth (not formed- footing bottom), 3-inches
  - b Formed concrete exposed to earth or weather (footing top and wall face), 2-inches
- 5 Tie all reinforcing steel and embedded items securely in place prior to placing concrete. "Wet sticking" dowels or other embedded items into wet concrete are not permitted.
- 6 Provide sufficient supports or chairs to maintain the position of the reinforcement within specified tolerances during all construction activities.
- 7 Provide corner bars at all corners and intersections of all footings and walls.
- 8 The bottom of all foundations shall extend a minimum of 12-inches below the top of finished grade.

Concrete Retaining Wall Notes

- 1 Calculated lateral pressures: 4-ft high = 477 plf; 3-ft high = 305 plf.
- 2 Drainage:
  - a Weep holes - 4-inch diameter, spaced 10-feet on-center at the base, above finished grade.
  - b Drain Tile - 4-inch diameter installed behind the wall, with positive outlet at the end. Provide continuous gravel bed around the drain tile.
- 3 Backfill - Compact to 95% Standard Proctor density. Use small or hand held compaction equipment near the wall.
- 4 The subgrade, footing, reinforcing steel, weep holes, gravel, drain tile and backfill must be inspected by Moore Engineering, Inc.

This document electronically signed by Marilyn Moore, P.E.

2.2.c

DRIVEWAY & RETAINING WALL DETAILS

9408 & 9410 WILLEO ROAD  
ROSSELL, GA 30075  
DR. NALINI KATARIA

2919 CRAVEY TRAIL NE  
ATLANTA, GA 30345  
770-366-6258

MOORE ENGINEERING INCORPORATED  
STRUCTURAL AND GEOTECHNICAL SERVICES  
MarilynMooreEngineering@gmail.com

DESIGN: May 27, 2025  
PRINT DATE: 8/25/25  
BY: M. Moore, MS, PE

PROPOSED SECOND PARKING LOT

2018 INTERNATIONAL BUILDING CODE COMPLIANT

2025

Aug. 25, 2025

Packet Pg. 46



## RELEASED FOR CONSTRUCTION

This engineer is utilizing a portion of the survey by D&S Land Surveying, dated 3-19-2025, for purposes of illustrating the proposed remote parking lot and BMPs only. Topographic and elevation data are not certified as correct by this engineer. Users of this data do so at their own risk.

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## EROSION CONTROL LEGEND

- Bf - Buffer Zone (Undisturbed Original Vegetation)
- Co - Construction Exit (With Mulching Only)
- Can be used as a singular erosion control device for up to 6 months
- Must be anchored
- Ds2 - Disturbed Area Stabilization (With Temporary Seeding)
- Can be used as a singular erosion control device for up to 6 months
- Ds3 - Disturbed Area Stabilization (With Permanent Seeding)
- Sd1 - Sensitive - Silt Fence (Type "C-Pop")

## ES&amp;PC NOTES

- 1 The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation. The permittee must correct all deficiencies within two (2) business days of receipt of the inspection report from the design professional unless weather related site conditions are such that additional time is required.
- 2 No stream buffers exist on-site. No buffer encroachments exist on site.
- 3 Amendments/revisions to the Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional.

## EROSION CONTROL NOTES

- 1 The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures prior to or concurrent with land-disturbing activities.
- 2 Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
- 3 Disturbed areas left idle 14 days shall be stabilized with temporary vegetation and mulch; disturbed areas remaining idle 30 days shall be stabilized with permanent vegetation.
- 4 Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as necessary.
- 5 Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.
- 6 Silt fence shall be "Type C"; as per the Field Manual for Erosion and Sediment Control in Georgia - 2016 edition, and be wire reinforced (See attached detail).
- 7 Silt barriers to be placed as shown and/or as directed by Project Engineer or County Inspector.
- 8 All silt barriers must be placed before any clearing. No grading shall be done until silt fence installation is completed.
- 9 Notify inspector 24 hours prior to construction.

## CONSTRUCTION EXIT MAINTENANCE

- 1 The exit shall be maintained in a condition that will prevent tracking or flow of mud onto public right-of-ways.
- 2 Periodic top dressing with 1.5- to 3.5-inch stone may be required as conditions demand.
- 3 Periodic repair and/or clean-out of any structures to trap sediment may be required as conditions demand.
- 4 All materials spilled, dropped, washed, or tracked from vehicles or site onto roadways, or into storm drains, must be removed immediately.

## GRADING NOTES

- 1 All cut and fill slopes shall not exceed 2:1 grade.
- 2 Fill shall be clean, without organics, no pieces of concrete larger than three (3) inches in size, or of any other foreign objects that could impede the compaction results.
- 3 Fill material shall be spread horizontally in 6- to 8-inch lifts (depth) over the full width of fill, and compacted per Geotechnical Engineer.
- 4 Grade to provide positive drainage.

I certify under penalty of law that this Plan was prepared after a site visit to the location described herein by myself or my authorized agent, under my direct supervision.

Marilyn Moore, P.E.  
GSWCC Level II Certified Design  
Professional, No. 0000012339

This document is electronically signed by Marilyn Moore, P.E.

I certify that the permittee's Erosion, Sedimentation and Pollution Control Plan provides for an appropriate and comprehensive system of Best Management Practices required by the Georgia Water Quality Control Act and the document "Manual for Erosion and Sediment Control in Georgia" (Manual) published by the Georgia Soil and Water Conservation Commission as of January 1 of the year in which the land disturbing activity was permitted, provides for the sampling of the receiving water or the sampling of the storm water outfalls and that the designed system of Best Management Practices and sampling methods is expected to meet the requirements contained in the General NPDES Permit No. GAR 1000001."

Marilyn Moore, P.E.  
GSWCC Level II Certified Design  
Professional, No. 0000012339

This document is electronically signed by Marilyn Moore, P.E.

This document electronically signed by Marilyn Moore, P.E.



Co

## SITE PLAN BMPs

SCALE: 1 IN = 20 FT

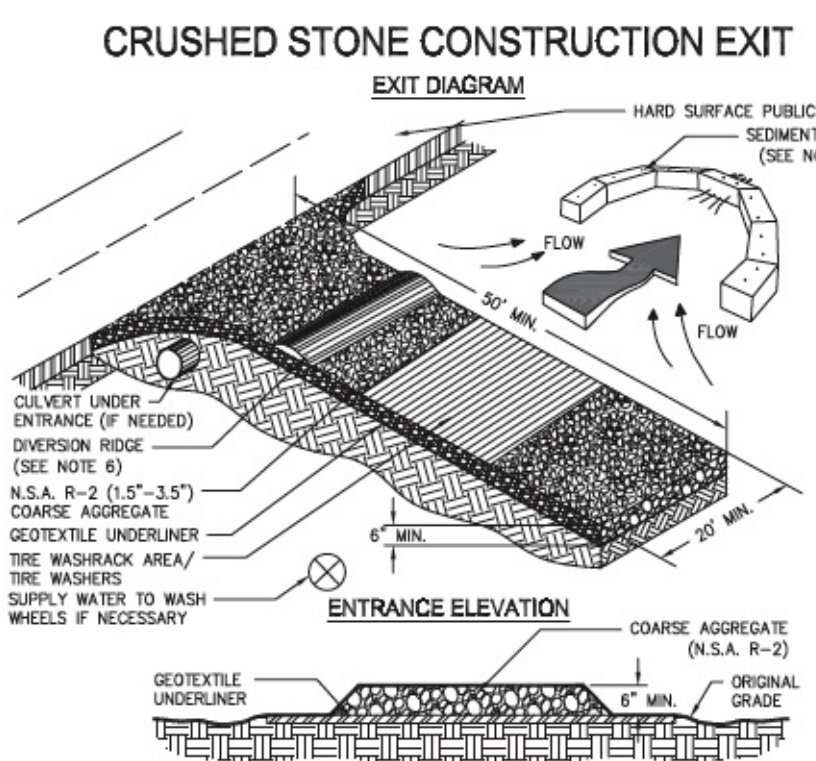


Figure 1. Crushed Stone Construction Exit Installation Requirements

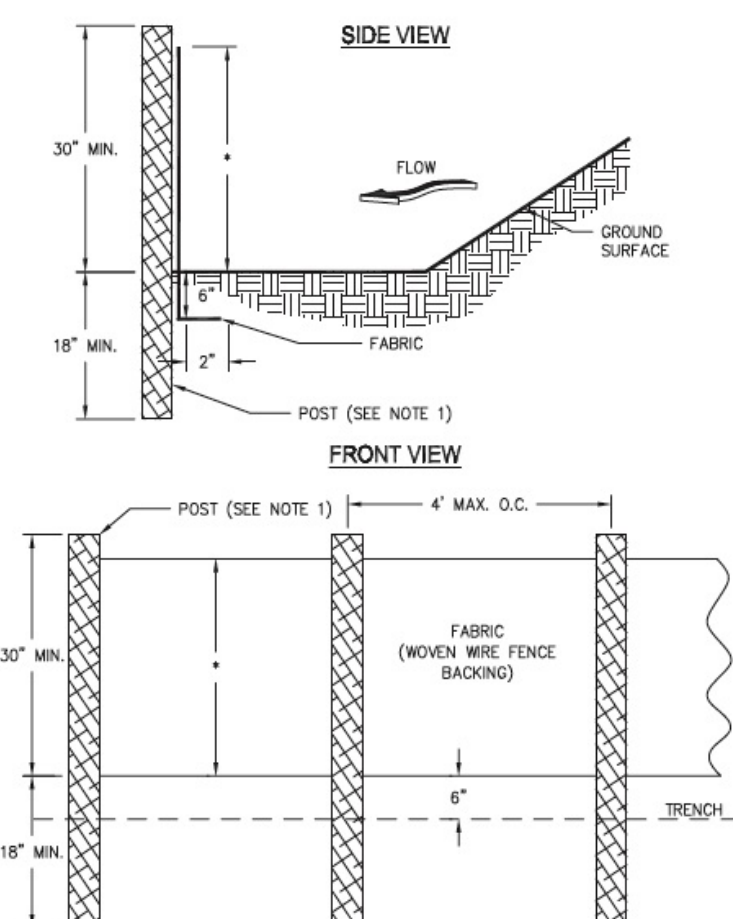


Figure 1. Type "C" Silt Fence

Sd-1

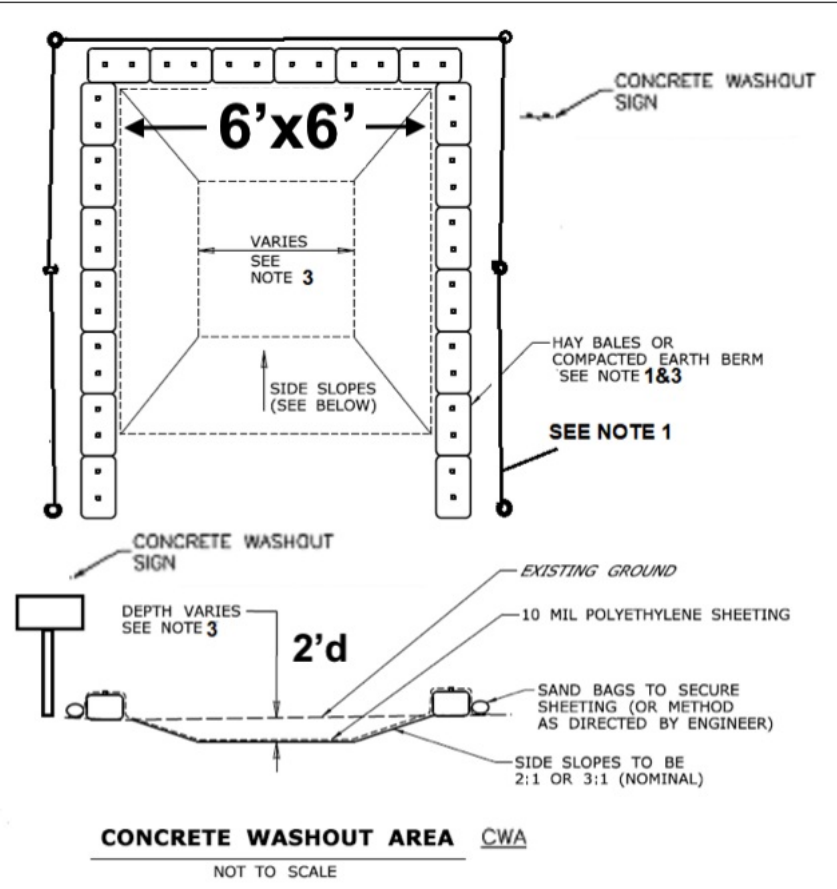
## WASTE MATERIALS, CONCRETE &amp; STORAGE NOTES

- 1 Waste materials shall not be discharged to waters of the State.
- 2 A dumpster shall be provided for the storage and removal of construction and demolition debris. Construction waste and trash to be disposed of in the dumpster on a daily basis.
- 3 Building materials and building products to be protected by plastic sheeting.
- 4 Landscape materials, including fertilizers, pesticides, and herbicides to be stored near the organic topsoil pile and protected by plastic sheeting.
- 5 Concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles to be carried out in designated area near concrete washout area.
- 6 Washout of the drum at the construction site is prohibited.
- 7 Storage of gasoline or petroleum products is limited to 5-gal fuel containers, located near the concrete washout area, surrounded by hay bales. The containers shall be examined daily for leaks and the area examined for spills.
- 8 Petroleum spills to be contained by hay and hay bales. Contaminated hay and soils shall be carefully scooped and placed in metal drums. The drums shall be labeled and transported to the local landfill accepting petroleum waste.

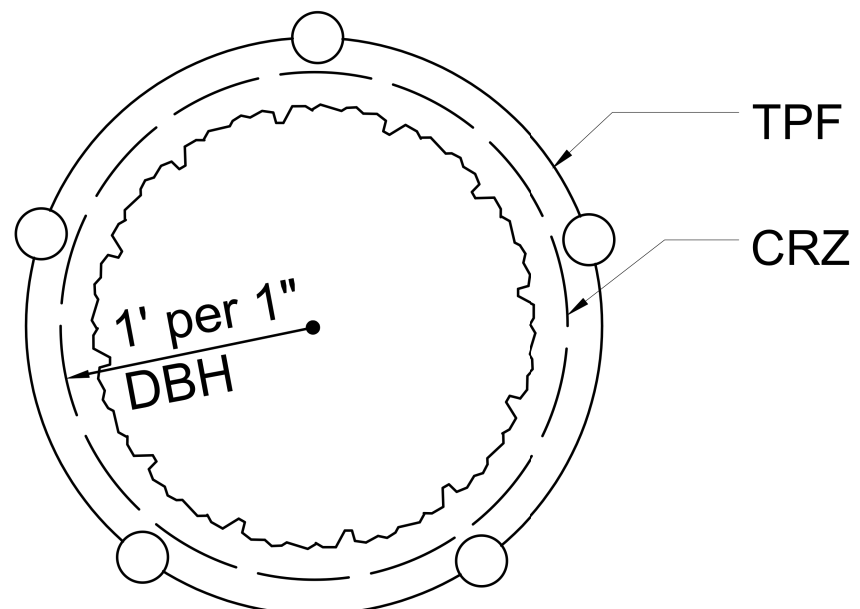


CONCRETE PUMP OUT/WASH OUT AREA NOTES

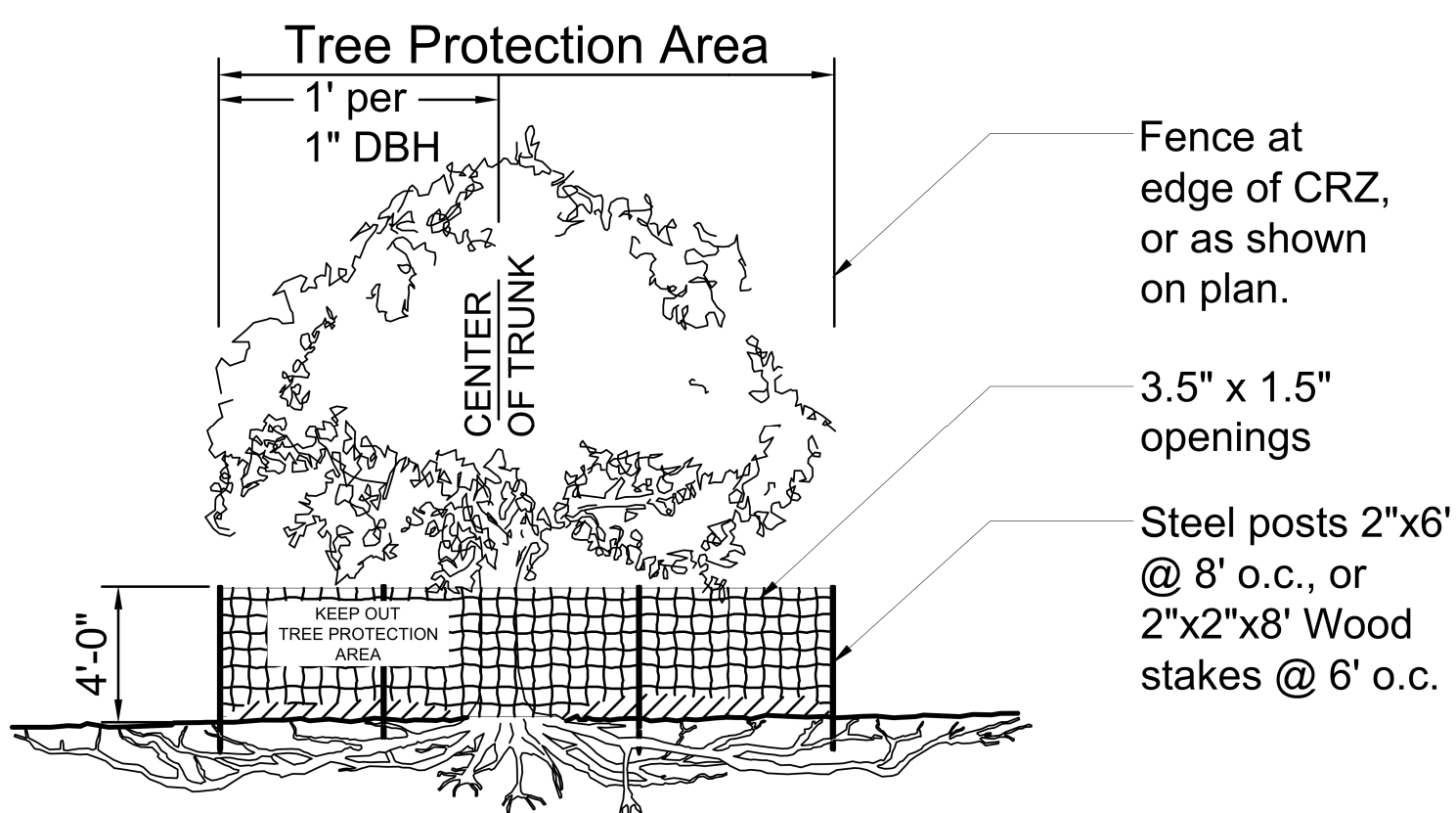
1. CONCRETE WASHOUT AREAS (CWAs) SHALL BE INSTALLED PRIOR TO THE FIRST CONCRETE DELIVERY TO THE SITE. THE CWAs SHALL BE ENTIRELY SELF-CONTAINED. CSAs SHALL BE INSTALLED WITH A SIGN CLEARLY INDICATING ITS PURPOSE. CWAs SHALL BE SURROUNDED WITH ORANGE SAFETY WARNING BARRIER FENCING.
2. THE CWAs SHALL BE LOCATED AT LEAST 50' FROM ANY WETLAND LINE, STORM DRAINS AND STORMWATER MANAGEMENT BASINS. THE CWAs SHALL BE UPSLOPE OF THE EROSION CONTROL BARRIER (ECB).
3. CWAs SHALL BE SIZED TO HAVE SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS INCLUDING BUT NOT LIMITED TO ACTIVITIES ASSOCIATED WITH GROUT AND MORTAR.
4. SIGNS SHALL BE ERECTED AT THE CONSTRUCTION ENTRANCE OR ELSEWHERE AS NEEDED TO CLEARLY INDICATE THE LOCATION OF THE CWAs TO OPERATORS OF CONCRETE DELIVERY TRUCKS AND PUMPING RIGS WHO HAVE ENTERED THE SITE.
5. CWAs SHALL BE INSPECTED AT LEAST ONCE A WEEK FOR STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY AND FOR LEAKS, TEARS, OR OVERFLOWS. CWAs SHALL ALSO BE INSPECTED AFTER HEAVY RAINS. RESULTS OF CWAs INSPECTIONS ARE TO BE INCLUDED IN THE INSPECTION REPORTS REQUIRED BY THE STORMWATER PERMIT.
6. HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF WHEN THE WASTE HAS ACCUMULATED TO HALF OF THE CWAs STORAGE CAPACITY AND AT THE COMPLETION OF ALL ACTIVITIES ASSOCIATED WITH CONCRETE, GROUT, AND MORTAR. EPA DOCUMENTATION STATES THAT CONCRETE WASTE IS PERFECTLY ACCEPTABLE FOR LANDFILLS ONCE IT IS COMPLETELY SOLIDIFIED. DISPOSAL OF THE HARDENED CONCRETE WASTE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH ALL APPLICABLE LAWS AND REGULATIONS.



Concrete Washout



PLAN VIEW



SECTION VIEW

Notes:

1. No construction activity w/in CRZ; including no storing or stacking materials. Under no circumstances should the fence be trenched in.
2. Tree Protection Fence (TPF) shall remain in place and maintained by repair or replacement throughout construction period or until landscape operations dictate adjustment or removal.

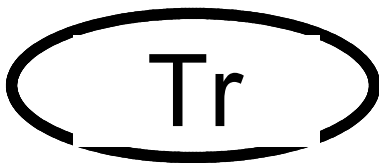


Table 1. Some Temporary Plant Species, Seeding Rates and Planting Dates

Species	Rates Per 1,000 sq. ft.	Rates per Acre	Planting Dates by Region		
			M-L	P	C
Barley Alone	3.3 lbs.	3 bu.	9/1-10/31	9/15-11/15	10/1-12/31
Barley in Mixtures	.6 lbs.	.5 bu.			
Lespedeza, Annual	0.9 lbs.	40 lbs.	3/1-3/31	3/1-3/31	2/1-2/28
Lespedeza in Mixtures	0.2 lbs.	10 lbs.			
Lovegrass, Weeping	0.1 lbs.	4lbs.	4/1-5/31	4/1-5/31	3/1-5/31
Lovegrass in Mixtures	.05 lbs.	2 lbs.			
Millet, Browntop	.9 lbs.	40 lbs.	4/15-6/15	4/15-6/30	4/15- 6/30
Millet in Mixtures	.2 lbs.	10 lbs.			
Millet, Pearl	1.1 lbs.	50 lbs.	5/15-7/15	5/1-7/31	4/15-8/15
Oats Alone	2.99 lbs.	4 bu.	9/15 -11/15	9/15-11/15	9/15-11/15
Oats in Mixtures	.7 lbs.	1 bu.			
Rye (Grain) Alone	3.9 lbs.	3 bu.	8/15-10/31	9/15-11/30	10/1-12/31
Rye in Mixtures	.6 lbs.	.5 bu.			
Ryegrass	0.9 lbs.	40 lbs.	8/15-11/15	9/1-12/15	9/15-12/31
Sudangrass	1.4 lbs.	60 lbs.	5/1-7/31	5/1-7/31	4/1-7/31
Triticale Alone	3.3 lbs.	3 bu.	NA	NA	10/15-11/30
Triticale in Mixtures	.6 lbs.	.5 bu.			
Wheat Alone	4.1 lbs.	3 bu.	9/15 -11/30	10/1-12/15	10/15-12/31
Wheat in Mixtures	.7 lbs.	.5 bu.			

1. Unusual site conditions may require heavier seeding rates.
2. Seeding dates may need to be altered to fit temperature variations and local conditions.
3. For Major Land Resource Areas (MLRAs), see page 60.
4. Seeding rates are based on pure live seed (PLS).

Table 2. Fertilizer Requirements for Temporary Vegetation

Types of Species	Planting Year	Fertilizer (N-P-K)	Rate (lbs./acre)	N Top Dressing Rate (lbs./acre)
Cool season grasses	First	6-12-12	1500	50-100
	Second	6-12-12	1000	---
	Maintenance	10-10-10	400	30
Cool seasn grasses & legumes	First	6-12-12	1500	0-50
	Second	0-10-10	1000	---
	Maintenance	0-10-10	400	---
Temporary cover crops seeded alone	First	10-10-10	500	30
Warm season grasses	First	6-12-12	1500	50-100
	Second	6-12-12	800	50-100
	Maintenance	10-10-10	400	30

Ds2 - Temporary Plant Species

- Install needed erosion control measures such as dikes, berms, and sediment barriers.
- Loosen compacted soil to a minimum depth of 3".

Applying Mulch

- Apply dry straw or hay and wood chips uniformly by hand or by mechanical equipment.
- Apply 20-30 lbs of nitrogen/acre if the area will eventually be covered with perennial vegetation.
- Apply polyethylene film on exposed areas.

Anchoring Mulch

- Press straw or hay into the soil with a disk harrow immediately after application. Tackifiers may be used when spreading mulch with blower-type equipment.
- Anchor wood waste using the appropriate size netting
- Trench polyethylene at the top as well as incrementally as necessary.

Table 1. Mulching Application Requirements

Material	Rate	Depth
Straw or hay	-	2" to 4"
Wood waste, chips, sawdust, bark	-	2" to 3"
Polyethylene film	Secure with soil, anchors, weights	-
Geotextiles, jute matting, netting, etc.	See manufacturer's recommendations	-

MAINTENANCE

- The appropriate depth and 90% cover shall be maintained at all times.

REFERENCES

Tac Tackifiers

Ds1 - Mulching

Table 1. Some Permanent Plant Species, Seeding Rates, and Planting Dates

Species	Rates per Acre	Rates per 1,000 sq. ft.	Planting Dates by Region			Remarks
			M- L	P	C	
Bahia, Pensacola Alone or with temporary cover With other perennials	60 lbs. 30 lbs.	1.4 lbs. 0.7 lb.	---	4/1 -5/31	3/1-5/31	Low growing; sod producing; will spread into Bermuda lawns.
Bahia, Wilmington Alone or with temporary cover With other perennials	60 lbs. 30 lbs.	1.4 lbs. 0.7 lb.	3/15-5/31	3/1-5/31	---	Same as above
Bermuda, Common (Hulled seed) Alone With other perennials	10 lbs. 6 lbs.	0.2 lb. 0.1 lb.	---	4/1-5/31	3/15-5/31	Quick cover; low growing; sod forming; needs full sun.
Bermuda, Common (Unhulled seed) With temporary cover With other perennials	10 lbs. 6 lbs.	0.2 lb. 0.1 lb.	---	10/1-2/28	11/1-1/31	Plant with Winter annuals. Plant with Tall Fescue
Bermuda Springs Common lawn and forage hybrids	40 cu. ft.	0.9 cu.ft.	4/15-6/15	4/1-6/15	4/1-5/31	1 cu. ft. = 650 sprigs 1 bu. = 1.25 cu. ft. or 800 sprigs
	Sod plugs 3' x3'					Drought tolerant. Full sun or partial shade.
Centipede	Block Sod Only	Block Sod Only	---	11/1-5/31	11/1-5/31	
Crown Vetch With winter annuals or cool season grasses	15 lbs.	0.3 lb.	9/1-10/15	9/1-10/15	---	Mix with 30 lbs. Tall Fescue or 15 lbs. Rye; inoculate seed; plant only North of Atlanta.
Fescue, Tall Alone With other perennials	50 lbs. 30 lbs.	1.1 lbs. 0.7 lb.	3/1-4/15 or 8/15-10/15	9/1-10/15	---	Can be mixed with perennial Lespedeza or Crown Vetch; not for droughty soils or heavy use areas
Lespedeza, Sericea Scarified Unscarified Seed-bearing hay	60 lbs. 75 lbs. 3 tons	1.4 lbs. 1.7 lbs. 138 lbs.	4/1-5/31 9/1-2/28 10/1-2/28	3/15-5/31 9/1-2/28 10/1-1/31	3/1-5/15 9/1-2/28 10/15-1/15	Widely adapted and low maintenance; takes 2-3 years to establish; inoculate seed with EL inoculant; mix with Weeping lovegrass, Common Bermuda, Bahia or Tall Fescue. Mix with Tall Fescue or winter annuals. Cut when seed is mature but before it shatters. Add Tall Fescue or winter annuals.
Lespedeza Ambro Virgata or Appalaw Scarified Unscarified	60 lbs. 75 lbs.	1.4 lbs. 1.7 lbs.	4/1-5/31 -9/1-2/28	3/15-5/31 9/1-2/28	3/1-5/15 9/1-2/28	Spreading growth with height of 18"-24"; good in urban areas; slow to develop good stands; mix with Weeping Lovegrass, Common Bermuda, Bahia Tall Fescue or winter annuals; do not mix with Sericea Lespedeza; inoculate seed with EL inoculant.
Lespedeza, Shrub (Lespedeza Bicolor or Lespedeza Thunbergii) Plants	3' x 3' spacing		10/1-3/31	11/1-3/15	11/15-2/28	Plant in small clumps for wildlife food and cover.
Lovegrass, weeping Alone With other perennials	4 lbs. 2 lbs.	0.1 lb. 0.05 lb.	4/1-5/31	3/15-5/31	3/1-5/31	Quick cover; drought tolerant; grows well with Sericea Lespedeza on road-banks and other steep slopes; short lived.
Maidencane sprigs	2' x 3' spacing		2/1-3/31	2/1-3/31	2/1-3/31	For very wet sites such as river banks and shorelines. Dig sprigs locally.
Panicgrass, Atlantic Coastal	20 lbs.	0.5 lb.	---	3/1-4/30	3/1-4/30	Grows well on coastal sand dunes; mix with Sericea Lespedeza but not on sand dune.
Red Canary Grass With other perennials	50 lbs. 30 lbs.	1.1 lbs. 0.7 lb.	8/15-10/15	9/1-10/15	---	Grows similar to Tall Fescue; for wet sites
Sunflower, Aztec Maximillian	10 lbs.	0.2 lb.	4/15-5/31	4/15-5/31	4/1-5/31	Mix with Weeping Lovegrass or other low growing grasses or legumes.

1. Rates are for broadcasted seed. If a seed drill is used, reduce the rates by one-half.
2. PLS is an abbreviation for Pure Live Seed. Refer to Glossary for an explanation of this term.
3. The resource areas are defined in the Glossary. See page 60 for Resource Area.
4. Seeding rates are based on pure live seeds (PLS).

Ds3 - Permanent Plant Species



This document electronically signed by Marilyn Moore, P.E.

SHEET NO.

GSWCC EROSION CONTROL BMPs & NOTES

9408 & 9410 WILLEO ROAD ROSWELL, GA 30075

DR. NALINI KATARIA

2919 CRAVEY TRAIL NE ATLANTA, GA 30345 770-366-6258

MOORE ENGINEERING INCORPORATED STRUCTURAL AND GEOTECHNICAL SERVICES

MarilynMooreEngineering@gmail.com

DESIGN: May 27, 2025 PRINT DATE: 8/25/25 BY: M. Moore, MS, PE



Table 1-3. Recommended Species List  
(Species not listed may be considered for City Arborist approval)

Legend

Species native to the Piedmont are indicated as "y" while species native to nearby ecoregions are indicated as "(y)".

"Urban" refers to species that are adapted to the difficult conditions typical of the urban environment, such as parking lots and street frontage.

**Note:** The Supported Wildlife Score is only available for native, large canopy shade trees. Methodology available upon request.

H: height W: width N: native E: evergreen Ur: urban R: riparian Ut: utility

Large Canopy Shade Trees (1,000 sf credit)

Common Name	Botanical Name	H	W	N	E	Ur	R	Ut	Supported Wildlife Score
Maple, Red	<i>Acer rubrum</i>	40'	25'	y	n	y	y		55
Birch, river	<i>Betula nigra</i>	60'	40'	y	n	y	y		80
Hickory, bitternut	<i>Carya cordiformis</i>	50'	50'	y	n	n	n		60
Hickory, pignut	<i>Carya glabra</i>	60'	40'	y	n	n	n		60
Hickory, shagbark	<i>Carya ovata</i>	70'	50'	y	n	n	n		60
Hickory, mockernut	<i>Carya tomentosa</i>	60'	40'	y	n	n	n		60
Chestnut, Chinese	<i>Castanea mollissima</i>	50'	50'	n	n	y	n		N/A
Beech, American	<i>Fagus grandifolia</i>	50'	50'	y	n	y	y		70
Ash, white	<i>Fraxinus americana</i>	60'	40'	y	n	n	y		65
Ash, green	<i>Fraxinus pennsylvanica</i>	50'	30'	y	n	n	y		65
Ginkgo (male only)	<i>Ginkgo biloba</i>	60'	40'		n	y	n		N/A
Walnut, black	<i>Juglans nigra</i>	50'	50'	y	n	n	y		55
Sweetgum	<i>Liquidambar styraciflua</i>	75'	50'	y	n	y	y		50
Poplar, tulip or yellow	<i>Liriodendron tulipifera</i>	70'	40'	y	n	y	y		60

Recommended Large Canopy Shade Trees

**Note:**

Final choice of trees / shrubs complying with the stated requirements and guidelines to be made by the Owner.



PLANT LIST

	QTY	SYM	BOTANICAL NAME	COMMON NAME	MIN. SPACE	SIZE	UNIT	UNITS
	9	WO	QUERCUS PHELLOS	WILLOW OAK	25' O.C.	2" CAL	0.5	4.5
	5	EL	ULMUS PAVIFOLIA 'ATHENA'	ATHENA ELM	AS SHOWN	2" CAL	0.5	2.5
	2	BC	TAXODIUM DISTICHUM	BALD CYPRESS	AS SHOWN	6' HT.	0.5	1
	14		THUJA PLUCATA X EMERALD	EMERALD ARBORVITAE	6' O.C.	6' HT.	0.5	7
	6	OC	PRUNUS 'OKAME'	OKAME CHERRY	20' O.C.	2" CAL	0.5	3

TOTAL 36 TREES

TOTAL TREE UNITS: 18

BUFFER SUPPLEMENT PLANTING

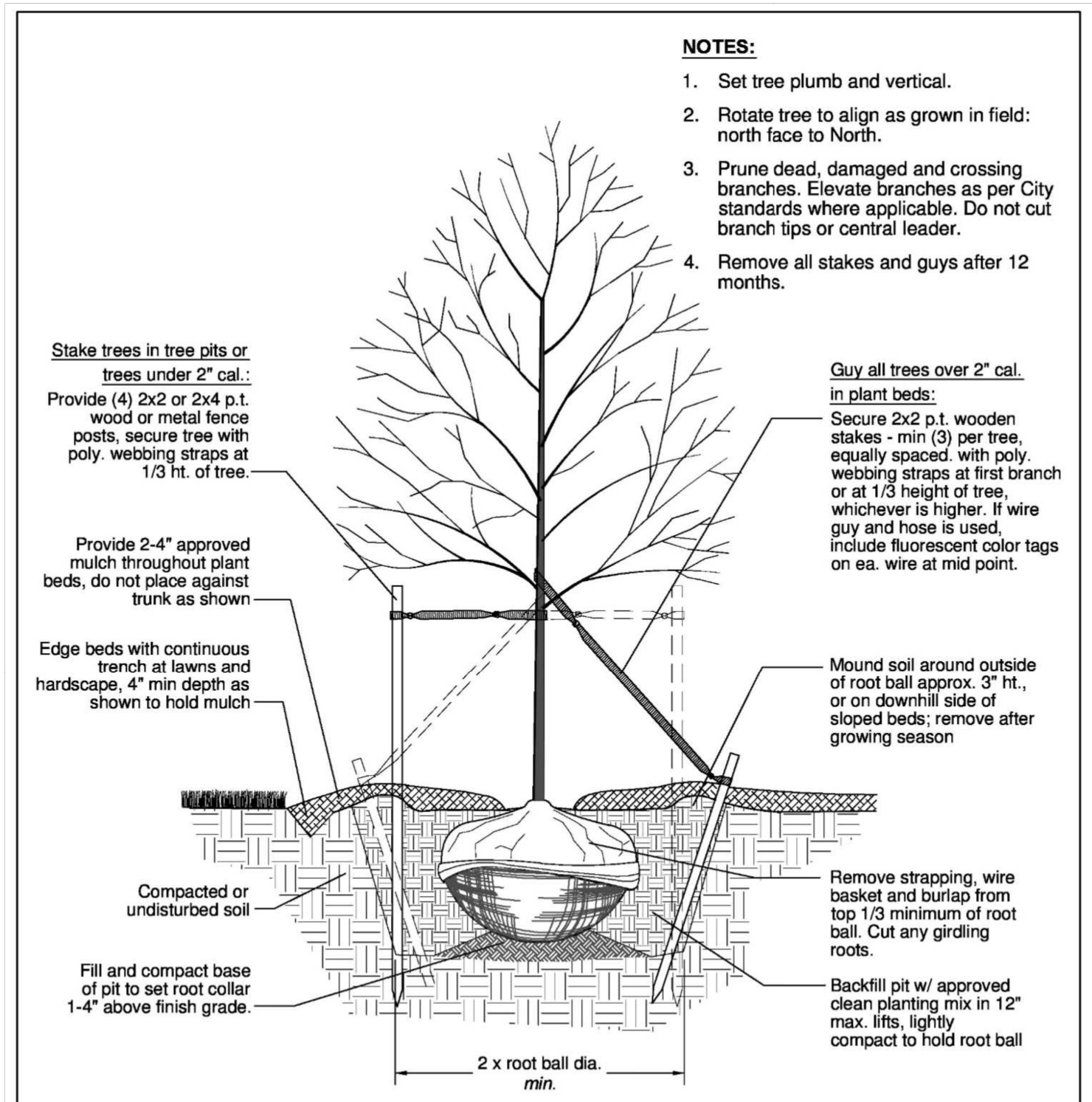
	QTY	BOTANICAL NAME	COMMON NAME	MIN. SPACE	SIZE
	20	CRYPTOMERIA JAPONICA	JAPANESE CEDAR	12' O.C.	6' HT.
	20	MYRICA CERIFERA	SOUTHERN WAX MYRTLE	7' O.C.	3' HT.

SHRUB

QTY	BOTANICAL NAME	COMMON NAME	MIN. SPACE	SIZE
33	LOROPETALUM CHINENSUS 'PURPLE DIAMOND'	SEMI-DWARF LOROPETALUM	5' O.C.	5 GAL.

Common Name	Botanical Name	H	W	N	E	Ur	R	Ut	Supported Wildlife Score
Dawn redwood	<i>Metasequoia glyptostroboides</i>	75'	25'	n	n	y	n		N/A
Blackgum or tupelo	<i>Nyssa sylvatica</i>	50'	30'	y	n	y	y		65
Pine, shortleaf	<i>Pinus echinata</i>	60'	20'	y	y	y	y		65
Pine, slash	<i>Pinus elliotii</i>	60'	20'	n	y	y	n		N/A
Pine, longleaf	<i>Pinus palustris</i>	60'	20'	n	y	n	n		N/A
Sycamore, Mexican	<i>Platanus mexicana</i>	50'	30'	n	n	y	y		N/A
Sycamore, American	<i>Platanus occidentalis</i>	75'	75'	y	n		y		50
Planetree, London	<i>Platanus x acerifolia</i>	75'	60'	n	n	y	n		N/A
Cottonwood, Eastern	<i>Populus deltoides</i>	75'	50'	y	n	y	y		55
Oak, white	<i>Quercus alba</i>	50'	50'	y	n	y	n		75
Oak, swamp white	<i>Quercus bicolor</i>	60'	50'	y	n	y	n		75
Oak, scarlet	<i>Quercus coccinea</i>	60'	40'	y	n	y	n		75
Oak, overcup	<i>Quercus lyrata</i>	50'	50'	y	n	y	n		75
Oak, nuttall	<i>Quercus nuttalli</i>	50'	40'	y	n	y	n		75
Oak, willow	<i>Quercus phellos</i>	60'	50'	y	n	y	n		75
Oak, Northern red	<i>Quercus rubra</i>	60'	60'	(y)	n	y	n		75
Oak, Shumard	<i>Quercus shumardii</i>	50'	40'	y	n	y	n		75
Basswood, American	<i>Tilia americana</i>	60'	30'	n	n	y	n		N/A
Elm, American	<i>Ulmus americana</i>	50'	60'	y	n	y	y		70
Zelkova, Japanese	<i>Zelkova serata</i>	50'	40'	n	n	y	n		N/A

Figure 4 - Tree Planting Standard Detail (not to scale)



Tree Planting Detail

THESE CONSTRUCTION DOCUMENTS AND PERMITTED REPRODUCTIONS, IN WHOLE OR IN PART, ARE INSTRUMENTS OF SERVICE AND THE SOLE PROPERTY OF MOORE ENGINEERING INC. UNLESS OTHERWISE AGREED TO, THEY SHALL NOT BE REPRODUCED OR CONVEYED IN ANY MANNER NOR ARE THEY TO BE USED FOR ANY OTHER PROJECTS OTHER THAN THAT SPECIFICALLY INDICATED HEREIN WITHOUT WRITTEN PERMISSION FROM, AND DUE COMPENSATION TO, MOORE ENGINEERING INC.

PROPOSED SECOND PARKING LOT

2018 INTERNATIONAL BUILDING CODE COMPLIANT

SHEET NO.

TREE PLANTING DETAILS

9408 & 9410 WILLEO ROAD  
ROSWELL, GA 30075

DR. NALINI KATARIA

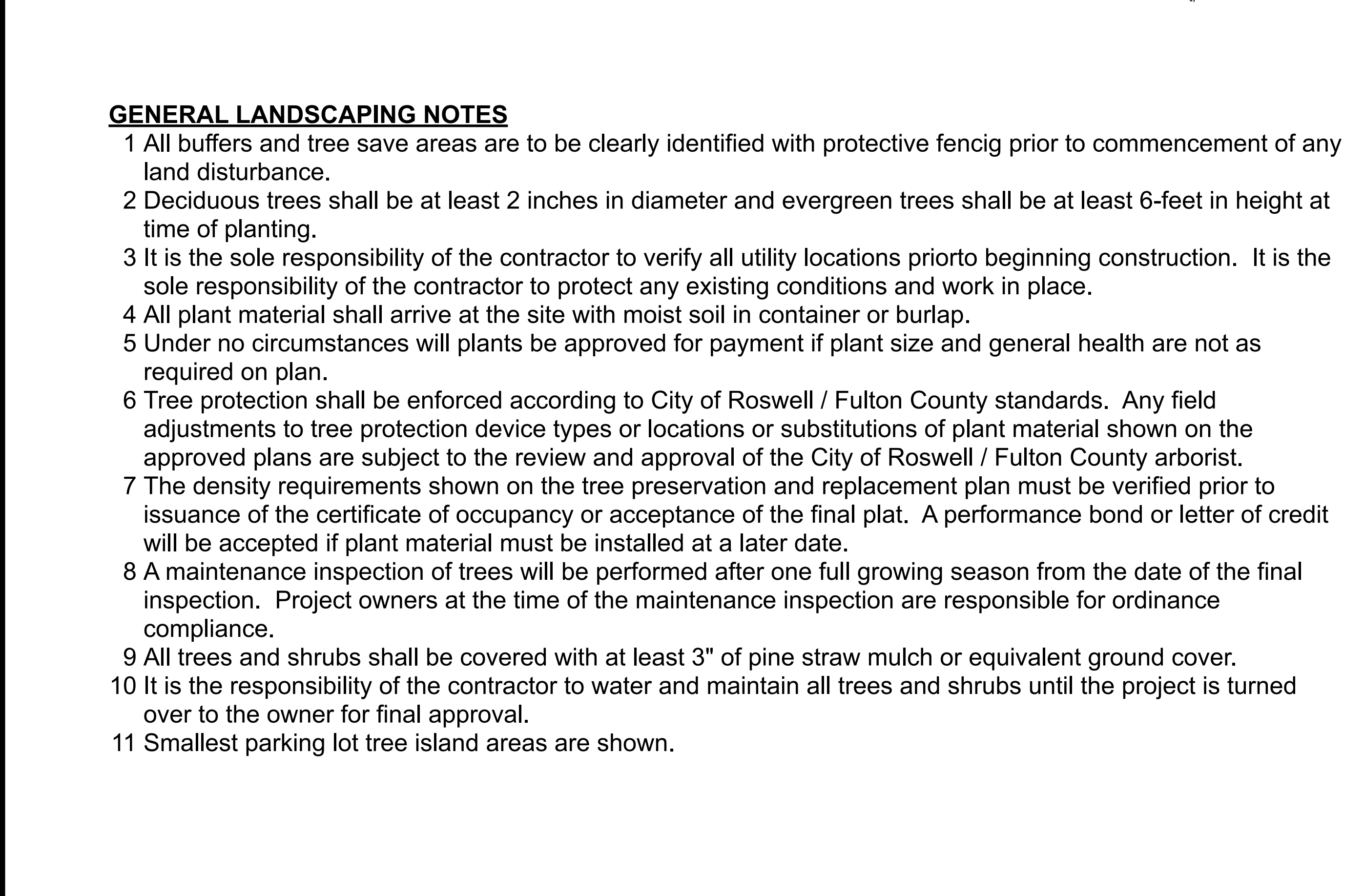
**MOORE ENGINEERING INCORPORATED**  
STRUCTURAL AND GEOTECHNICAL SERVICES  
2919 CRAVEY TRAIL NE  
ATLANTA, GA 30345  
770-366-6258  
MarilynMooreEngineering@gmail.com

DESIGN: May 27, 2025  
PRINT DATE: 8/25/25  
BY: M. Moore, MS, PE

This document electronically signed by Marilyn Moore, P.E.



Attachment: Site Plan (BZA20252958 - 9410 Wilileo Road)



TOTAL DBH DESTROYED: 26  
inches

# Tree Data Survey

**LANDSCAPE REQUIREMENTS - UDC Sec. 10.2**

### The Landscape Strip with Sh

### Frontage Landscape Strip with Shrubs

a Disturbed frontage strip = 70 lf

a A landscaped

a Total acreage = 0.4545 ac

# Tree Impact Calculations

UDC SECTION 12.1 TREE PROTECTION

Tree density required     30 tree units \* 0.45

†  $P < 0.05$  compared with control group.

### Protected trees

_____	_____	_____	_____
-------	-------	-------	-------

1. *Journal of the American Medical Association*, 2000; 283: 2689-2695.

## Discussion

2018 INTERNATIONAL BUILDING CODE COMPLIANT

**MOORE ENGINEERING INCORPORATED**  
STRUCTURAL AND GEOTECHNICAL SERVICES  
Mason@MooreEngineering@gmail.com

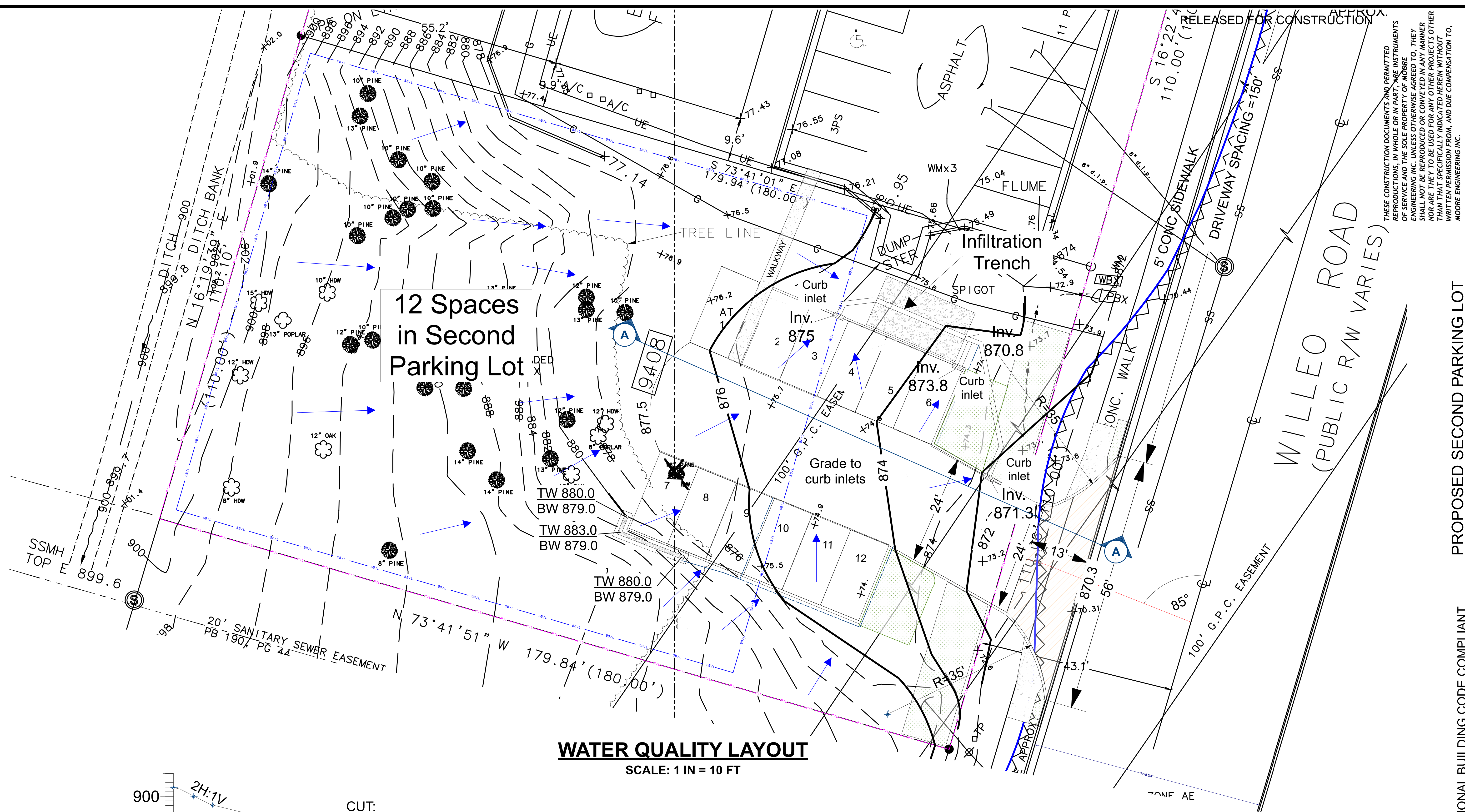
9408 & 9410 WILLEO ROAD  
ROS WELL, GA 30075  
DR. NALINI KATARIA

# THE SURVEY & LANDSCAPING NOTES

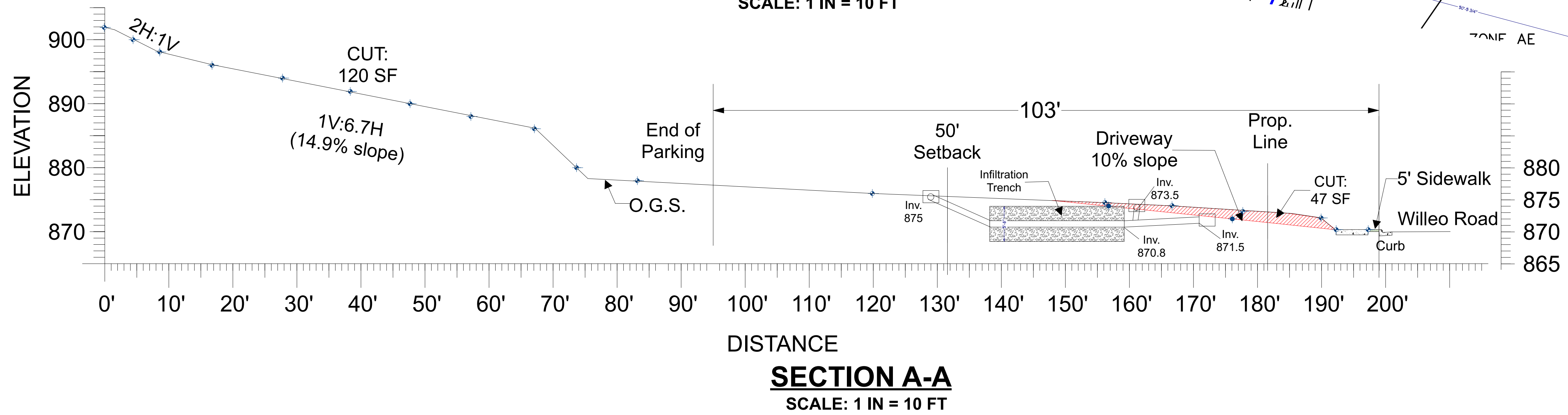
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**WATER QUALITY LAYOUT**  
SCALE: 1 IN = 10 FT



**SECTION A-A**  
SCALE: 1 IN = 10 FT

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2018 INTERNATIONAL BUILDING CODE COMPLIANT  
PROPOSED SECOND PARKING LOT

<b>MOORE ENGINEERING INCORPORATED</b> STRUCTURAL AND GEOTECHNICAL SERVICES MarilynMooreEngineering@gmail.com	2919 CRAVEY TRAIL NE ATLANTA, GA 30345 770-366-6258	9408 & 9410 WILLEO ROAD ROSWEIL, GA 30075 DR. NALINI KATARIA	<b>WATER QUALITY:</b> <b>LAYOUT &amp; SECTION A-A</b>	SHEET NO. <b>C-9</b>
	DESIGN: May 27, 2025 PRINT DATE: 8/25/25 BY: M. Moore, MS, PE	This document electronically signed by Marilyn Moore, P.E.		

Attachment: Site Plan (BZA20252958 - 9410 Wilileo Road)



WATER QUALITY TREATMENT VOLUME CALCULATIONS			
Uniform Stormwater Sizing Criteria			
IMPERVIOUS AREA CALCULATIONS			
PROPOSED IMPERVIOUS			
STRUCTURE	AREA (SF)	TREATED?	BMP LOCATION
Entrance	482	Y	
Driveway	2121	Y	
12 Parking Spaces	1944	Y	
Curb	290	Y	
THERE ARE NO EXISTING STRUCTURES			
TOTAL TREATED IMPERVIOUS AREA (A <sub>Imp</sub> )	4837		
TOTAL SITE AREA (A <sub>Total</sub> )	19800		

WATER QUALITY VOLUME				
Per GSWMM Vol. 2, Sections 1.3.2, 2.1.7, and 3.1				
UNIFIED STORMWATER SIZING CALCULATION				
$WQ_v \text{ (cf)} = 1.2/12 \text{ (ft)} * R_v * A_{\text{Total}} \text{ (sf)}$				
where: $WQ_v$ - Water Quality Volume				
$R_v = 0.05 + 0.009 * I$				
$I = (A_{\text{Imp}} / A_{\text{Total}}) * 100$				
A <sub>Imp</sub>	A <sub>Total</sub>	I	R <sub>v</sub>	WQ <sub>v</sub>
SF	SF			CF
4837	19800	24.429	0.270	534.3

**STONE STORAGE INFILTRATION TRENCH**  
Per GSWMM Vol. 2, Sections 1.3.2, 2.1.7, and 3.1  
Treat first 1.2" of storm runoff from Impervious areas

Total Treated Impervious Area (A <sub>Imp</sub> )	4836.9	SF
Total Water Quality Volume (WQ <sub>v</sub> ) Rq'd	534.3	CF
<b>INFILTRATION TRENCH</b>		
Width	11.5	FT
Depth	5.5	FT
Length	21	FT
Total Volume Available = WHL	1328.25	CF
Storage Volume = 0.4 * WHL	531.3	CF
Clean gravel backfill of 0.75" to 1.5" diameter		
Storage Volume = Pipe Volume + [(0.4*(WHL - Pipe Volume)]		
Pipe Volume = Area of 12" diameter pipe * L	16.38	CF
Storage Volume with Pipe	541.1	CF
Trench with 18" Pipe Volume (541.1 cf) > Rq'd WQ <sub>v</sub> (534.3 cf)		

**WATER QUALITY NOTES & MAINTENANCE**

- 1 The landscaped area above the surface of the trench can be landscaped with sod or may be covered with an engineered soil mix, and planted with managed turf or other herbaceous vegetation.
- 2 The stone storage is for storage only and can be graded above per the grading plan with a minimum cover of 6-inches.

**Maintenance**

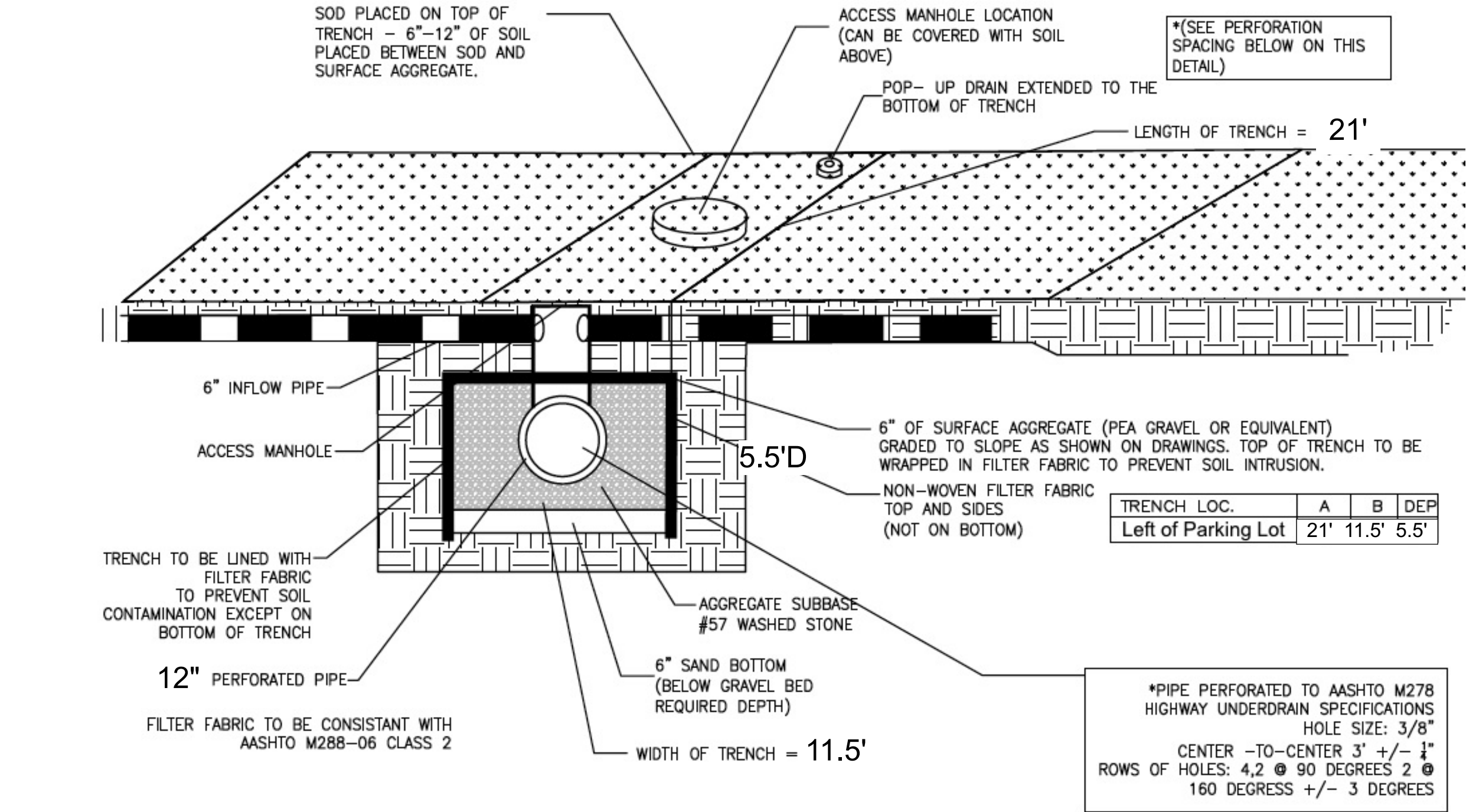
- 3 After construction, inspect after every major storm for the first few months to ensure stabilization and proper function.

**Quarterly**

- 4 Inspect stone storage at least four times per year, as well as after every storm exceeding 1-inch.
- 5 Inspect pretreatment devices and overflow outlets and dispose of sediment, debris/trash, and any other waste material in compliance with local, state, and federal regulations.
- 6 Check observation well following 3 days of dry weather to ensure 72-hour maximum is not being exceeded.
- 7 Regularly clean out drop inlets.

**Upon Failure**

- 8 Perform total rehabilitation of stone storage to maintain design storage capacity and 72-hour drawdown time.

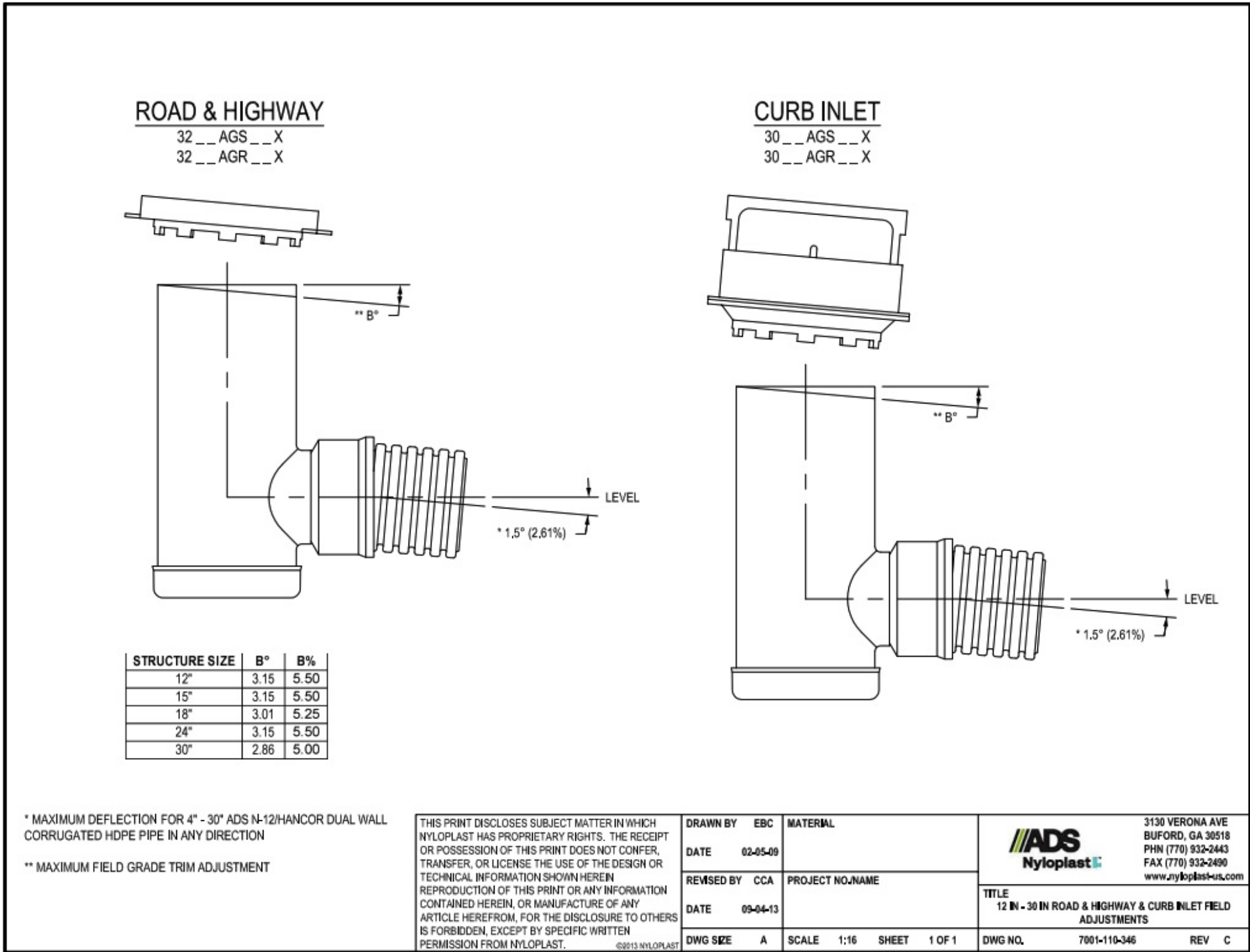


**UNDERGROUND STONE STORAGE TRENCH**

NOT TO SCALE

**UNDERGROUND STORAGE TRENCH**

N.T.S.



**TYP. NYLAPLAST CURB INLET**

RELEASED FOR CONSTRUCTION

This engineer is utilizing a portion of the survey by D&S Land Surveying, dated 3-19-2025, for purposes of illustrating the proposed remote parking lot, tree survey and BMPs only. Topographic and elevation data are not certified as correct by this engineer. Users of this data do so at their own risk.

- NOTES:**
- 1 The water quality volume provided by the stone infiltration trench (541.1 cf) exceeds the WQ storage requirements of 534.5 cf.
  - 2 Install 12" perforated pipe and access manhole with screw top lid for observation well.
  - 3 Infiltration testing indicates an infiltration rate of 0.56 in/hr.
  - 4 Two (2) curb inlets will direct runoff to the infiltration trench.

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PROPOSED SECOND PARKING LOT

2018 INTERNATIONAL BUILDING CODE COMPLIANT

9408 & 9410 WILLEO ROAD  
ROS WELL, GA 30075  
DR. NALINI KATARIA

2919 CRAVEY TRAIL NE  
ATLANTA, GA 30345  
770-366-6258

**MOORE ENGINEERING INCORPORATED**  
STRUCTURAL AND GEOTECHNICAL SERVICES  
MarilynMooreEngineering@gmail.com

DESIGN: May 27, 2025  
PRINT DATE: 8/25/25  
BY: M. Moore, MS, PE

This document electronically signed by Marilyn Moore, P.E.



20250703103348


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**APPLICATION INTAKE**

In Person: 8:00 am – 4:00 pm

By Email: [planningandzoning@roswellgov.com](mailto:planningandzoning@roswellgov.com)**Variance Application**

Request to Board of Zoning Appeals or Administrative

<b>Application Number:</b>			
* Before submitting an application, you must contact Planning and Zoning to determine if a pre-application meeting is required.			
Pre-Application Meeting Date: _____			
Type of Request: <input type="checkbox"/> Administrative <input checked="" type="checkbox"/> Major			
Number of Variances Requested: 2			
<b>PROJECT DESCRIPTION</b>			
Name of Project: ADDITIONAL PARKING		Current Zoning: OP.	
Project Address: 9408 Willes Rd, Roswell GA. 30075			
Subdivision:		Is there an HOA? ___Y___N	
List requested variances:			
1. to max parking requirement			
2. to allow on site parking between the building and street.			
3. _____			
Explain your hardship (See Page 3 of application for hardship criteria): -- We face a true hardship due to the building layout & steep slope at the back, leaving no room for compliant parking. Without the 2 variances requested, we cannot meet the needs of our growing patient base esp elderly & disabled patients who rely on timely accessible care.			
<b>CONTACTS</b>			
<b>Applicant/Representative</b>	Name/Company Name: Marilyn Moore / Moore Engineering, Inc.		
	Address: 2919 Cravey Trail NE		
	City: Atlanta	State: GA	Zip: 30345
	Email: <a href="mailto:marilynmooreengineering@gmail.com">marilynmooreengineering@gmail.com</a>	Phone: 770-366-6258	
<b>Property Owner</b>	Name/Company Name: HARDI WILLES INVESTMENTS		
	Address: 9408 and 9410 Willes Rd.		
	City: Roswell	State: GA	Zip: 30075
	Email: NHARDI@YAHOO.COM	Phone: 404 723 2991	
I hereby certify that all information provided herein is true and correct.			
 Applicant Signature: Property Owner or Owner's Representative			Date: 7/2/2025

\*Refer to Section 13.9 and 13.11 of the Unified Development Code to determine if your project is categorized as an Administrative or Major Review

City of Roswell • 38 Hill Street • Suite G-30 • Roswell, Georgia 30075 • 770-817-6720 • [www.roswellgov.com](http://www.roswellgov.com)  
 Planning and Zoning Division Application • Rev 12/27/2024

Attachment: Application (BZA20252958 - 9410 Willes Road)


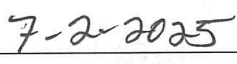
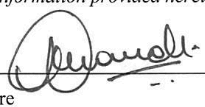
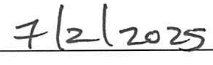

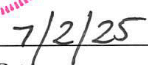
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SIGNATURE PAGE		
<b>READ CAREFULLY BEFORE SIGNING</b> <ul style="list-style-type: none"> <li>I understand that failure to supply all required information (per the relevant Applicant Checklist and requirements of the <i>Unified Development Code</i>) will result in <b>REJECTION OF THE APPLICATION</b>.</li> <li>I understand that the application may not be approved if applicant plans to attend the Design Review Board meeting without required items or if the applicant presents plans that differ from submittal materials.</li> <li>I understand that I will become familiar with applicable zoning code and Design Guidelines.</li> </ul>		
I understand that failure to respond OR to submit deficient items within six months of receiving comments will result in <b>THE APPLICATION BEING DEEMED AS WITHDRAWN BY THE CITY</b>		
		
Applicant or Representative Signature		Date
I respectfully petition that this property be considered as described in this application. Wherefore, applicant prays that the procedures incident to the presentation of this petition be taken, and the property be considered accordingly. Additionally, applicant further acknowledges and fully understand all above statement made by the City of Roswell.		
I hereby certify that all information provided herein is true and correct		
		
Property Owner Signature		Date
Address: <u>9408 and 9410 Willeo Rd.</u>		
City: <u>Roswell</u>	State: <u>GA</u>	Zip: <u>30075</u>
NOTARY: Personally appeared before me the above applicant or representative named <u>Marilyn Moore</u> who on oath says that he/she is the applicant or representative for the foregoing, and that all the above statements are true to the best of his/her knowledge		
		
Notary Signature		Date
Date commission expires: <u>4/28/2026</u>		

\*Refer to Section 13.9 and 13.11 of the Unified Development Code to determine if your project is categorized as an Administrative or Major Review  
 City of Roswell • 38 Hill Street • Suite G-30 • Roswell, Georgia 30075 • 770-817-6720 • www.roswellgov.com  
 Planning and Zoning Division Application • Rev 12/27/2024

Attachment: Application (BZA20252958 - 9410 Willeo Road)





**City of Roswell**  
**Board of Zoning Appeals**  
**AGENDA ITEM REPORT**

**ID # - 10052**

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**MEETING DATE:** September 9, 2025  
**DEPARTMENT:** Board of Zoning Appeals  
**ITEM TYPE:** Minutes

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**August 12, 2025 BZA Minutes**

**Item Summary:**

August 12, 2025 BZA Minutes





## Board of Zoning Appeals

Regular Meeting  
<http://www.roswellgov.com/>  
 ~Minutes~

Chair Jahanzeb Jabbar  
 Vice Chair Mark Schumacher  
 Board Member John Hannah  
 Board Member G. Wilson "Rocky" Horde  
 Board Member Rob Huey  
 Board Member Ian Kowalski  
 Board Member Dan Seger

Tuesday, August 12, 2025

7:00 PM

City Hall - Council Chambers

### **\*\* Possible Quorum of Mayor and City Council \*\***

#### **Welcome**

#### **I. Call to Order**

The meeting was called to order at 7:00 PM by Chair Jahanzeb Jabbar.

Chair Jahanzeb Jabbar: Present, Vice Chair Mark Schumacher: Present, Board Member John Hannah: Present, Board Member G. Wilson "Rocky" Horde: Present, Board Member Rob Huey: Present, Board Member Ian Kowalski: Present, Board Member Dan Seger: Present, Planning and Zoning Director Jeannie Peyton: Present, Planner II Richard Sykes: Present.

#### **II. Agenda Items**

##### **1. BZA20252054 – 12250 Brookfield Club Drive – variance to reduce the rear & side setbacks for a sport court**

<b>RESULT:</b>	<b>DEFERRED [UNANIMOUS]</b>
<b>MOVER:</b>	Ian Kowalski, Board Member
<b>SECONDER:</b>	Rob Huey, Board Member
<b>IN FAVOR:</b>	Kowalski, Jabbar, Hannah, Horde, Huey, Schumacher, Seger

#### **III. Minutes**

##### **2. July 8, 2025 BZA Minutes**

<b>RESULT:</b>	<b>APPROVED [UNANIMOUS]</b>
<b>MOVER:</b>	Mark Schumacher, Vice Chair
<b>SECONDER:</b>	John Hannah, Board Member
<b>IN FAVOR:</b>	Kowalski, Jabbar, Hannah, Horde, Huey, Schumacher, Seger

#### **IV. Adjournment**

The meeting was adjourned at 8:36 PM.